

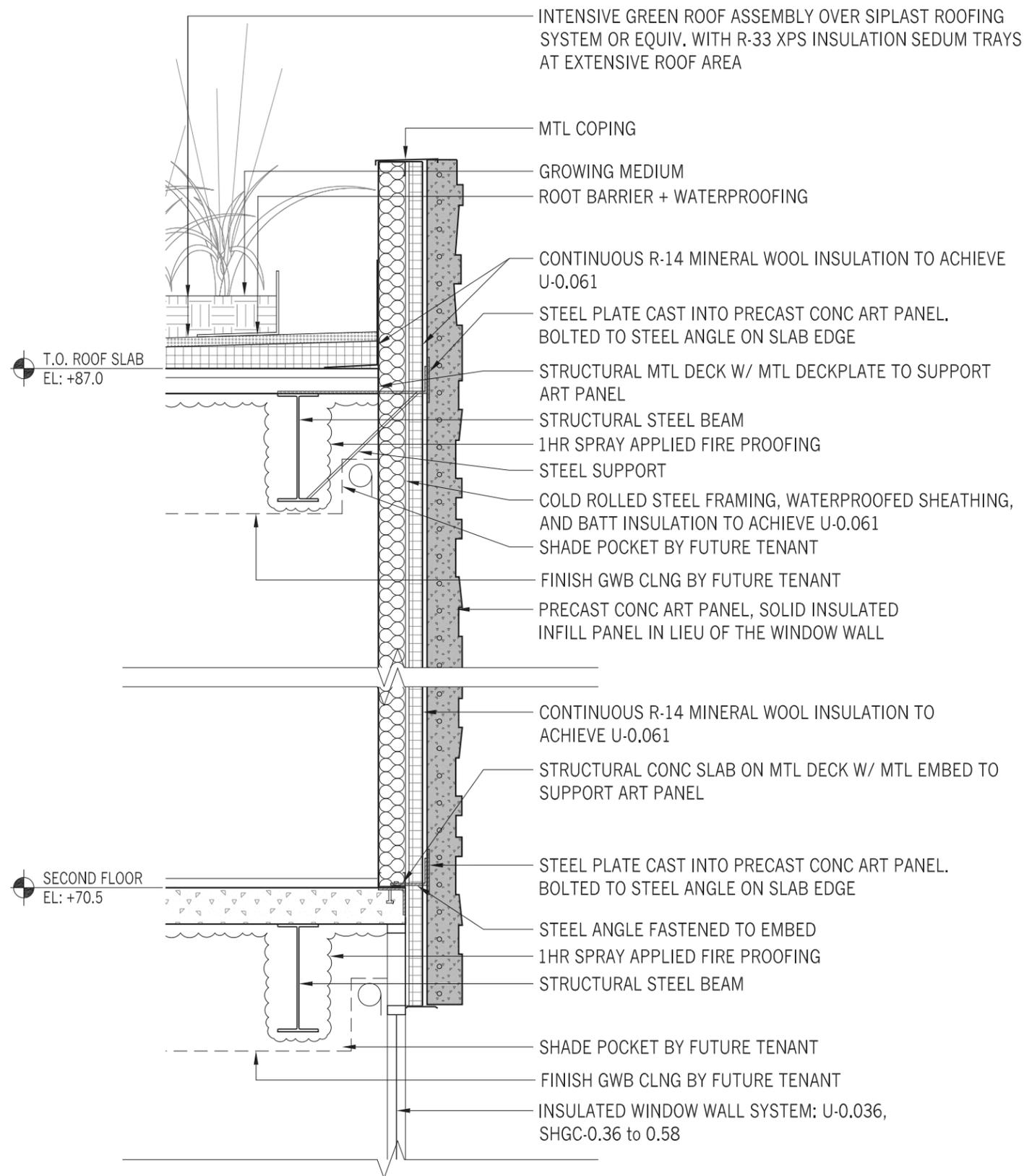
FACADE DIAGRAMS: SOUTH ELEVATION



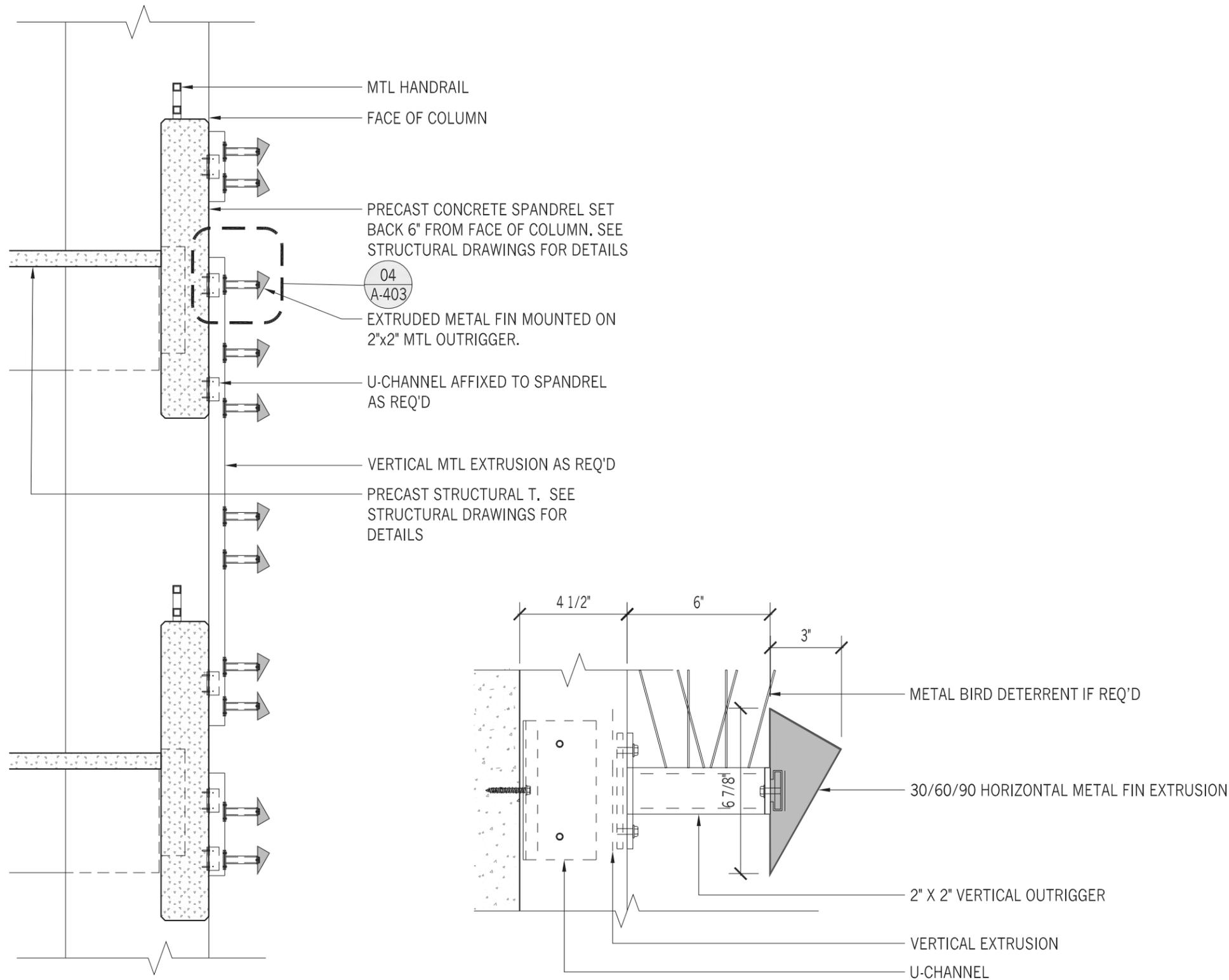
KEYNOTES

- | | | |
|---|--|---|
| 1. PRECAST FINISHED CONCRETE FINISHING PANEL HUNG ON STRUCTURAL FRAME | 8. PERFORATED PAINTED ALUMINUM SCREENING FOR MECHANICAL ENCLOSURE | 14. HORIZONTAL ELECTRICAL POWER W/ EXTERIOR FLOOD LIGHTS TO ILLUMINATE HORIZONTAL FINNS, TYP. |
| 2. PRECAST CONCRETE STRUCTURAL COLUMN (SMOOTH FINISH) | 9. METAL DIMENSIONAL LETTERING AT CANOPIES AND/OR OVERHEAD SIGNAGE BAR | 15. STONE FACING |
| 3. PRECAST CONCRETE STRUCTURAL SPANDREL WITH METAL HANDRAIL (BEYOND) | 10. PAINTED STRUCTURAL STEEL TRELLIS WITH SOLAR PANELS | 16. EXTERIOR METAL CLADDING |
| 4. PRECAST CONCRETE STRUCTURAL PANELS WITH SMOOTH FINISH | 11. R-1/R-2/R-3 RAILING | 17. EXTERIOR METAL VENTILATED LOUVERS |
| 5. PRECAST CONCRETE ART PANEL W/ INTEGRAL RELIEF | 12. NOT USED | 18. CAST IN PLACE CONCRETE PLANTER EDGE |
| 6. PRECAST CONCRETE STAIR TREADS AND RISERS WITH PAINTED STEEL GUARDRAILS | 12.1. NOT USED | |
| 7. HORIZONTAL ALUMINUM FINNS FASTENED TO CONCRETE SPANDREL, TYP. | 13. EXTERIOR DOWNLIGHTS FOR PEDESTRIAN WALKWAYS | |

FACADE DETAILS: COMMUNITY CENTER ART PANELS



FACADE DETAILS: GARAGE HORIZONTAL FIN



PROPOSED REFERENCE MATERIAL PALETTE

PRE-CAST CONCRETE ART PANELS



HORIZONTAL FINNS



PRE-CAST CONCRETE SPANREL (SMOOTH FINISH)



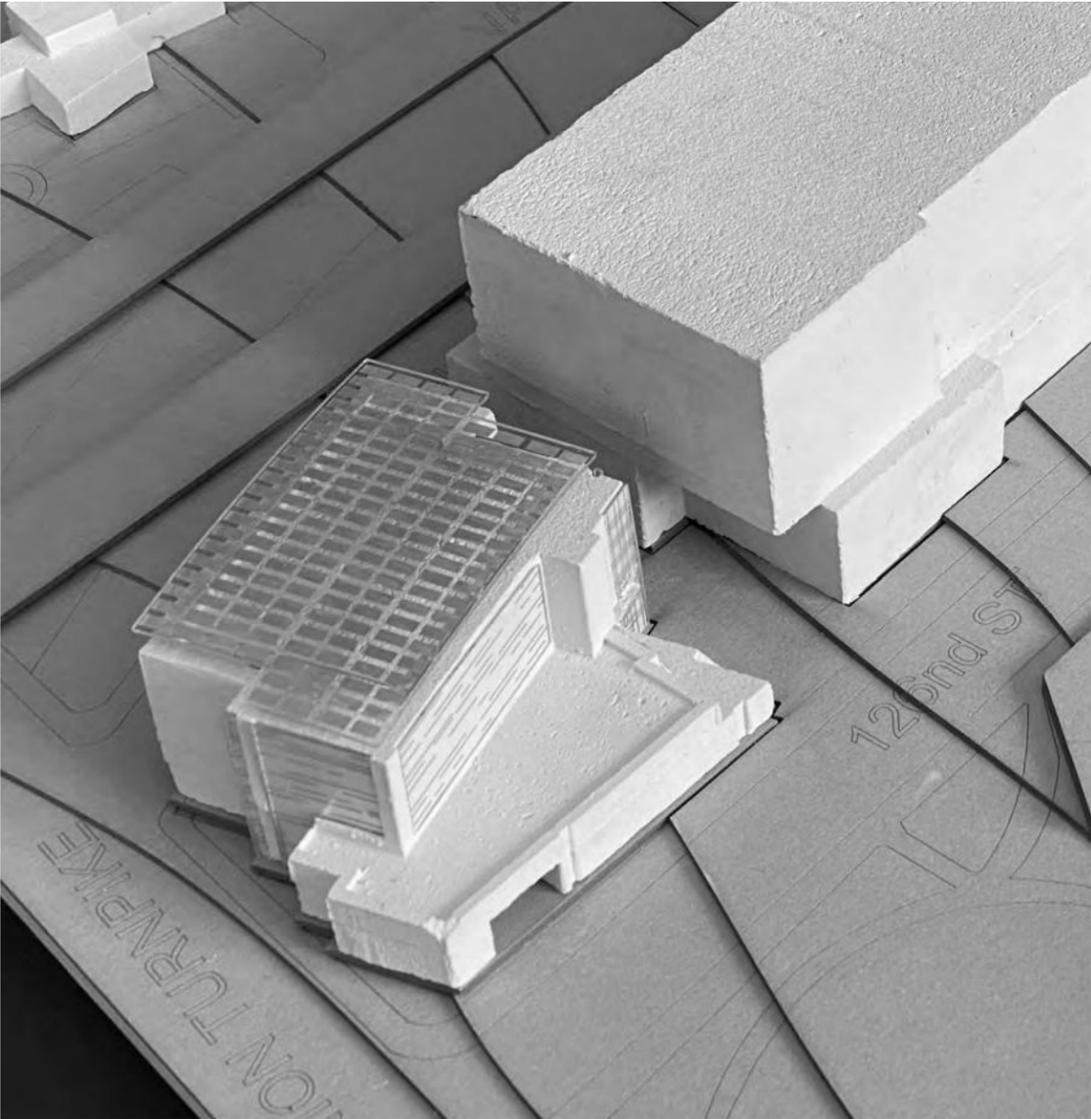
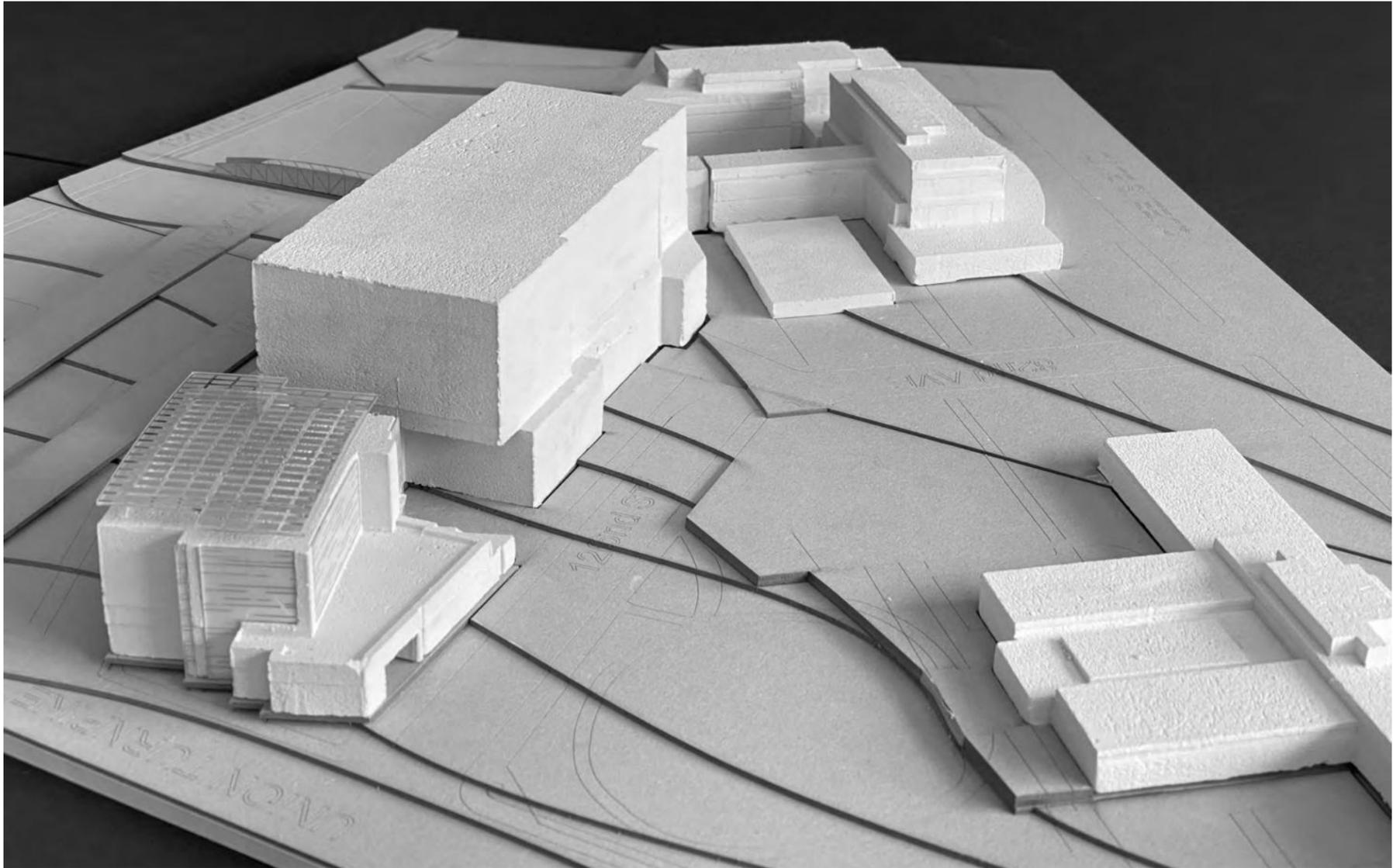
SOLAR PV ARRAY



STOREFRONT GLAZING



ARCHITECTURAL SITE MODEL



AERIAL PERSPECTIVE



PUBLIC CIRCULATION PERSPECTIVE



PERSPECTIVE: WEST FACADE



PERSPECTIVE: EAST FACADE



DETAIL PERSPECTIVE: PUBLIC ENTRANCE



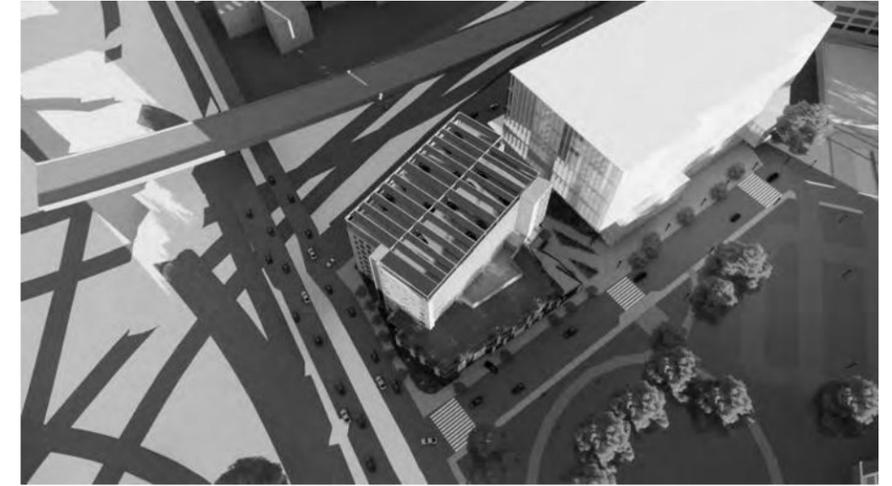
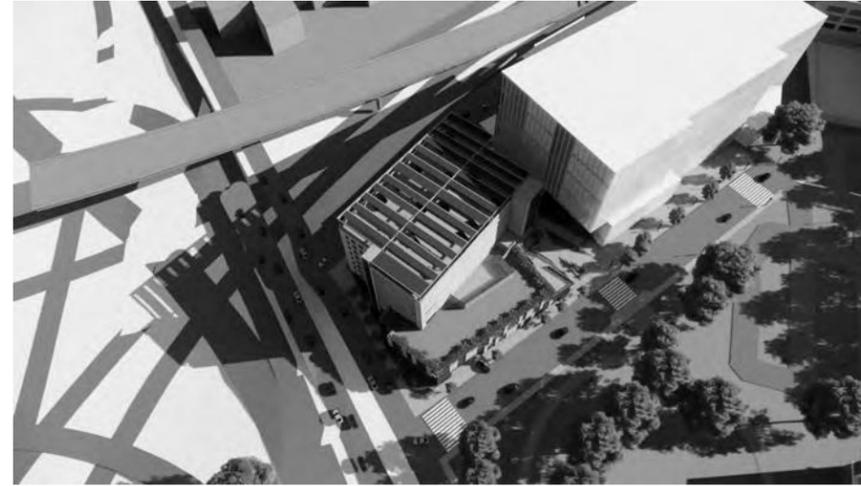
SOLAR STUDY

MORNING

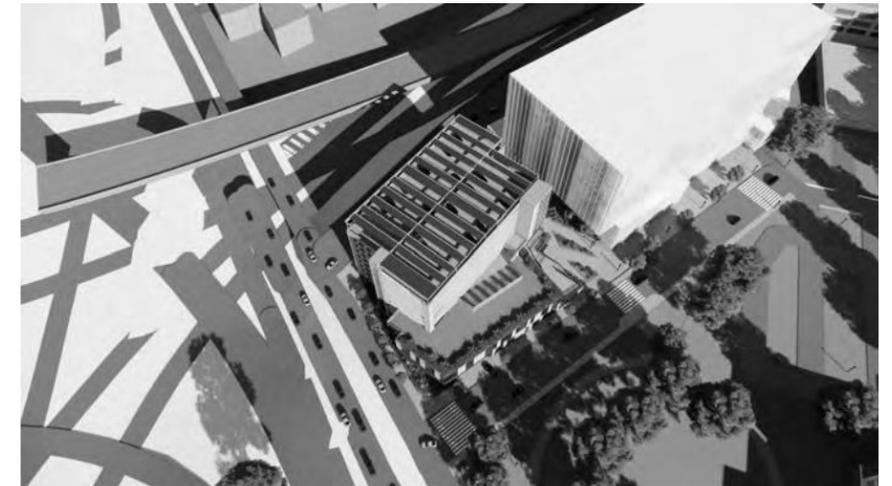
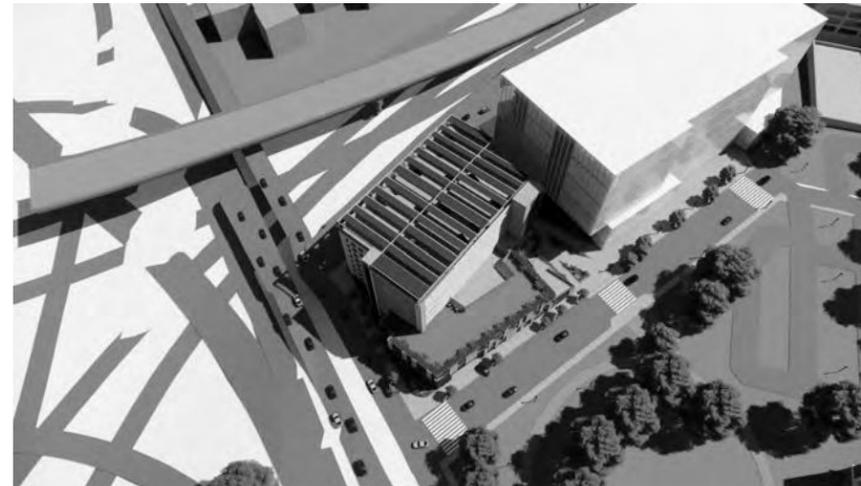
NOON

AFTERNOON

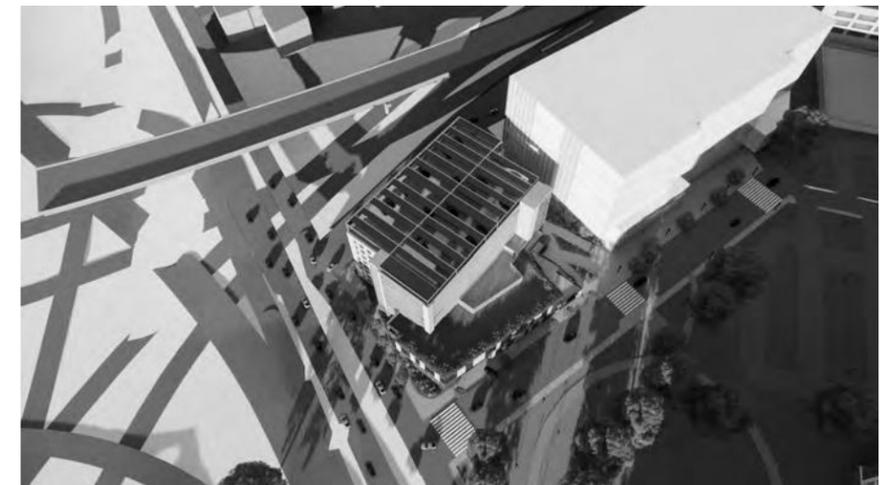
WINTER
SOLSTICE



EQUINOX



SUMMER
SOLSTICE



QUEENS COMMUNITY CENTER- LEED CERTIFICATION

A REFLECTION OF GOOD DESIGN



- 25% Energy Cost Savings from an ASHRAE 90.1-2010 baseline
- Fundamental and Enhanced Commissioning
- Demand Response



- 35% Potable water reduction for indoor plumbing fixtures
- >50% Potable Water savings for irrigation
- Submetering of 2+ water subsystems



- Rainwater capture
- Green Roof
- Biophilic Design

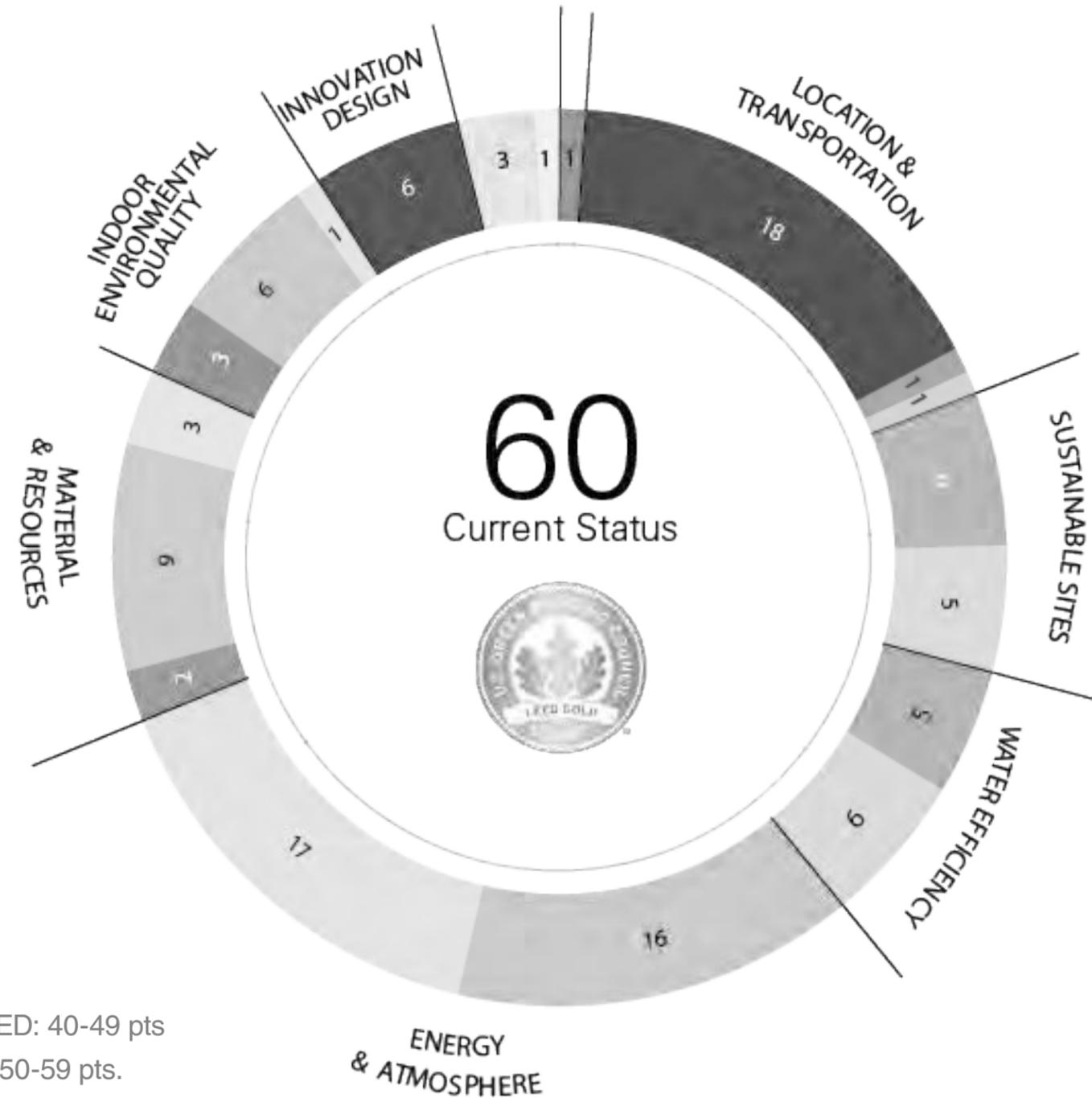


- Exemplary Access to Public Transit
- Dense and Connected Community
- Electric Vehicle Charging Station

FURTHER STAKEHOLDER COLLABORATION



- Monitoring Based + Envelope Commissioning?
- Operations + Maintenance Plans
- Renewable Energy Contracts



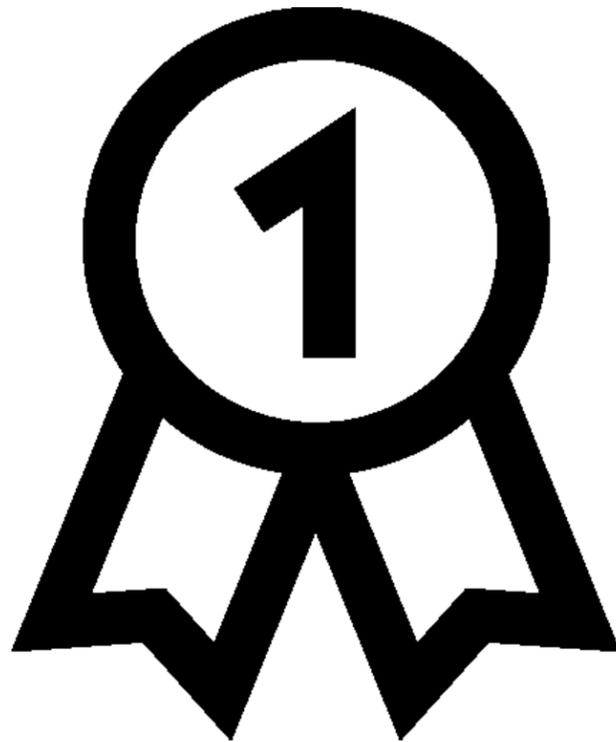
CERTIFIED: 40-49 pts
 SILVER: 50-59 pts.
 GOLD: 60-79 pts.
 PLATINUM: 80-110 pts.

QUEENS COMMUNITY CENTER- PARKSMART

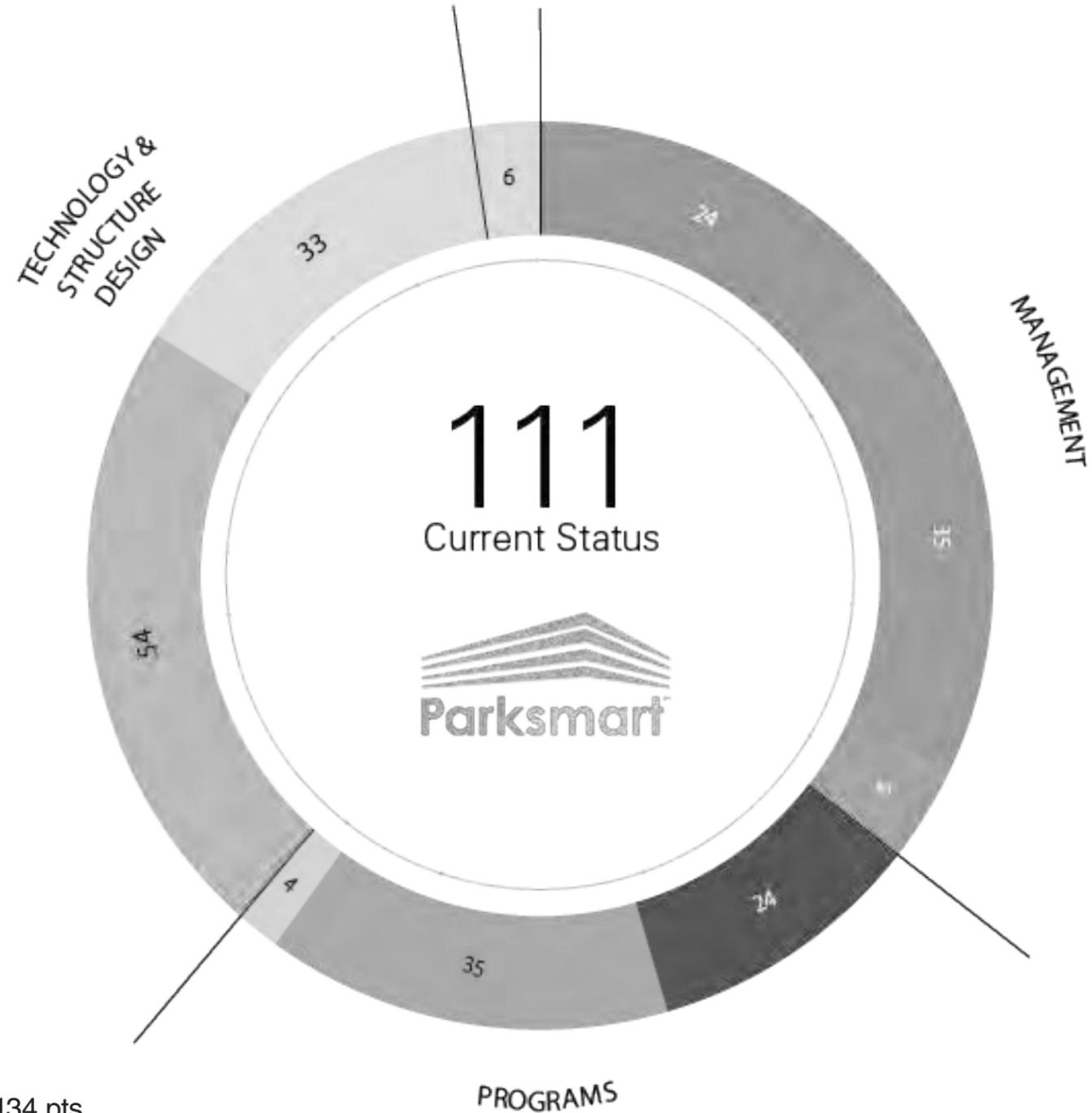
A PUSH TO REDUCE OUR IMPACT

Our pursuit of LEED principles in the Community Center should be reflected in the parking garage. If similar specifications and best practices are applied, we anticipate Parksmart Bronze is achievable.

Parksmart Certification would require diligent planning and brainstorming with the ultimate garage operator for success.



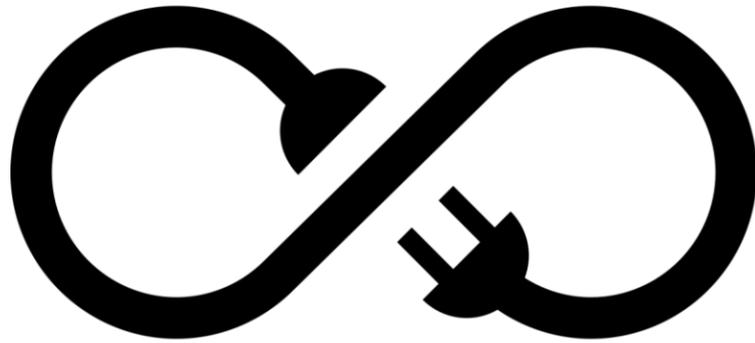
Project has the opportunity to be the FIRST Parksmart certification in New York City and THIRD in New York State (other 2 are in Ithaca)



BRONZE 110-134 pts
SILVER: 135-159 pts.
GOLD: 160 + pts.

QUEENS GARAGE- NET ZERO ENERGY

SUPPORTING COMMUNITY RESILIENCE



As a low energy demand building, the project has the opportunity to offset its use, reducing demand on municipal infrastructure.

If design conditions permit, a PV array could also support the operations of the community center- creating a resilient community resource.

GOALS FOR OUR PHOTOVOLTAICS:

- Support compliance with Local Law 31/32 and 92/94
- Provide additional covered/ shaded parking spaces

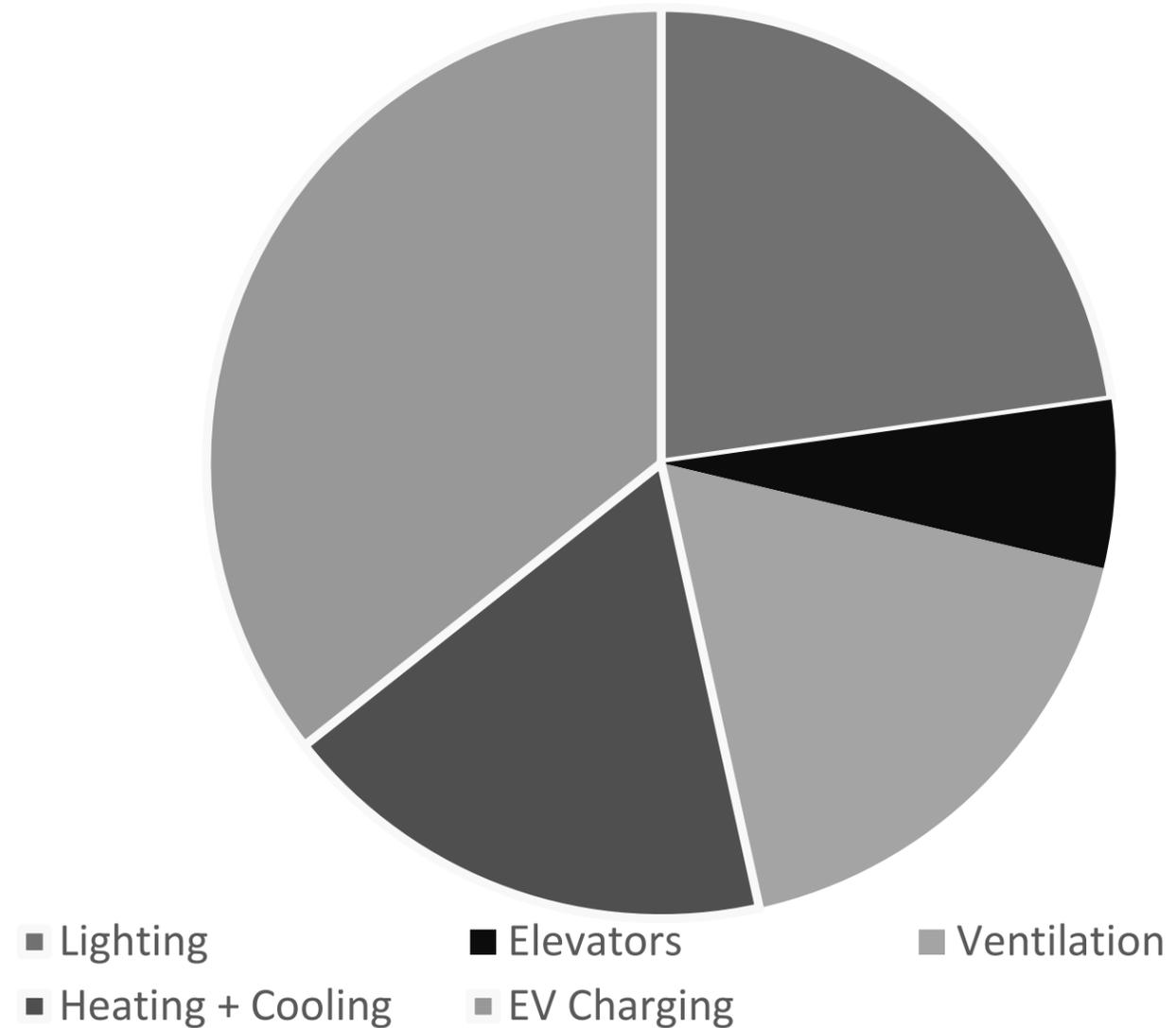
CO- BENEFITS

- Offset energy demand of garage
- Reduced Maintenance of roof deck

OPPORTUNITIES

- Set positive precedent for local development

Queen's Garage Estimated Energy Loads- PV Offset



Revised/Updated September 18, 2020
July 20, 2020

Item	BOD Reference Vol./Art./Page	BOD Required	Enhancement	Alternate Conformance Description
Basis of Design Document - Alternate Conformance Log				
1 Requirement for BIM - LOD 500 (RFI 20 response)	RFI Response 20	■		See BIM execution plan in RFP submission; The RFP submission does not include an LOD 500 model; DDC BIM Implementation Plan has not been issued/requirements require clarification
2 Off-site Enclosure Performance Mock-Up	2/19/Bldg. Encl.	■		See RFP response for CX/Activation plan - factory and in- situ testing only following ASTM standards
3 Remove existing sheet piling	3/1.4/12	■		DB team intends to re-use piling with modifications as part of the engineered SOE plan
4 NYC DOT EV stations (35)	3/1.1.2/58	■		5% of 612 spaces = 31, Level II Chargers
5 Independent stormwater management	3/1.1.2/58	■		The stormwater management system is shared between the parking garage and the community space
6 Two Elevators at the Community Center	3/2.2.2/66	■		1 dedicated elevator provided; DB analyzed demand and we believe 1 elevator will provide acceptable performance
7 Community Space Population - occupancy 120 people/1,000 SF	3/6.2.1.5ai3/350	■		The base design accommodates 800 occupants. It is a blended design that allows for a mix of Public Assembly and office type spaces.
8 Natural Gas: provide as required for equipment	3/6.3.6/90	■		Gas service is not provided. Domestic hot water will be provided by electric instantaneous water heaters
9 Full wet sprinkler for community space based on final approved occupancy	3/7.3.2/99	■		Providing temporary loop for TCO/it is assumed that the future fit-out will include the full sprinkler system; service and risers are designed for a full wet pipe sprinkler system
10 Protective Design: Blast and Anti-Terrorism	3/13.4	■		Complying with NYC BC Integrity Provisions

DRAWINGS

NYCDDC / NYC BBJ PROGRAM QUEENS GARAGE & COMMUNITY SPACE

PIN:8502020CR0040P-42P

TECHNICAL DRAWINGS



NYCDDC / NYC BBJ PROGRAM QUEENS GARAGE & COMMUNITY SPACE

PIN:8502020CR0040P-42P

TECHNICAL DRAWINGS



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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ
QUEENS GARAGE & COMMUNITY SPACE
80-25 126th St,
Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:

DRAWING TITLE:

SCALE: 1/32" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:

DRAWING ORDER:

Notes & References
Base Plane established with use of the curb elevations provided as a part of each zoning lot portion designated within the ULURP plans, in combination with area coverage of the proposed building at each portion, per definition.
Refer to ULURP for heights or elevations at various streets and zoning lot portions. Additional modifications possible per ZR-832. <small>https://or.planning.nyc.gov/article-vfu/doctype-4/74-832</small>

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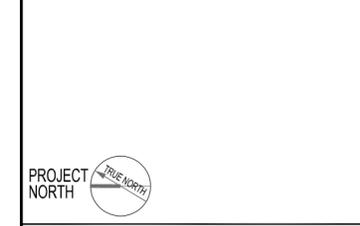
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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ
QUEENS GARAGE & COMMUNITY SPACE
80-25 126th St,
Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:



PROJECT NORTH TRUE NORTH

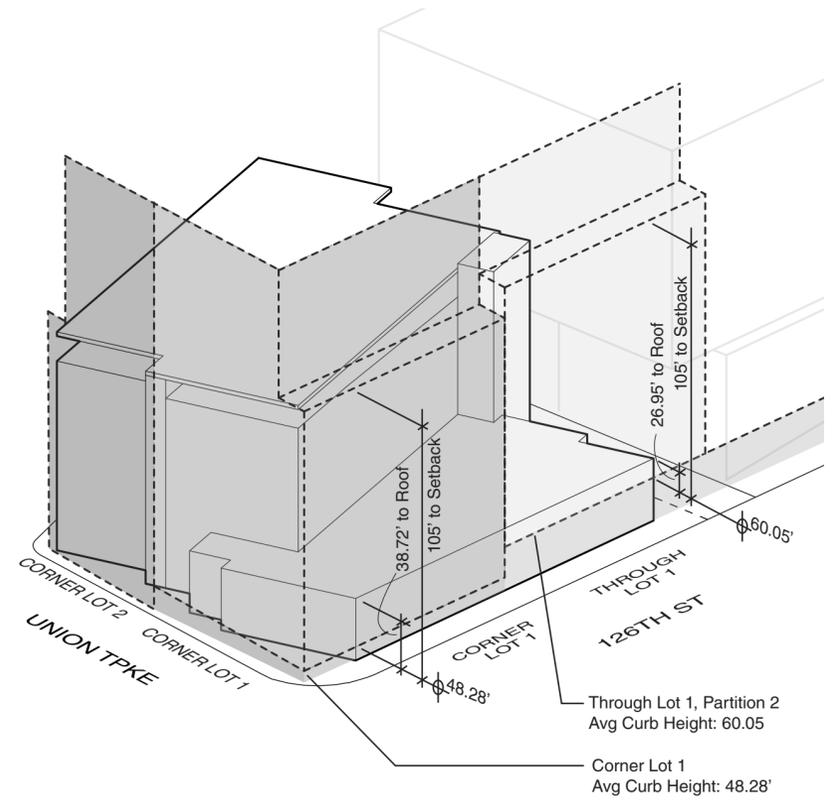
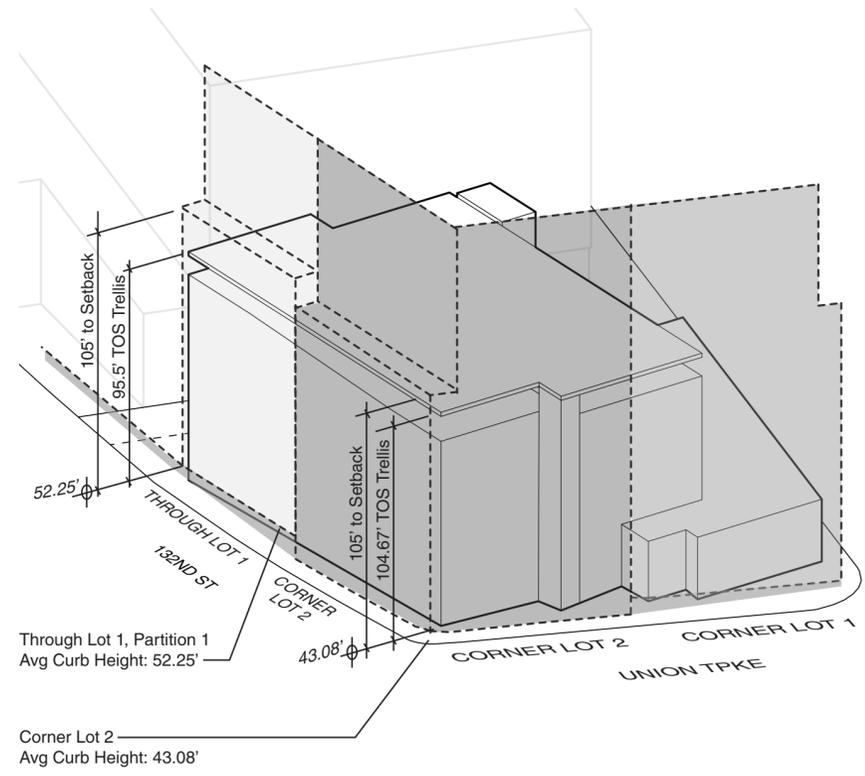
DRAWING TITLE:

ZONING

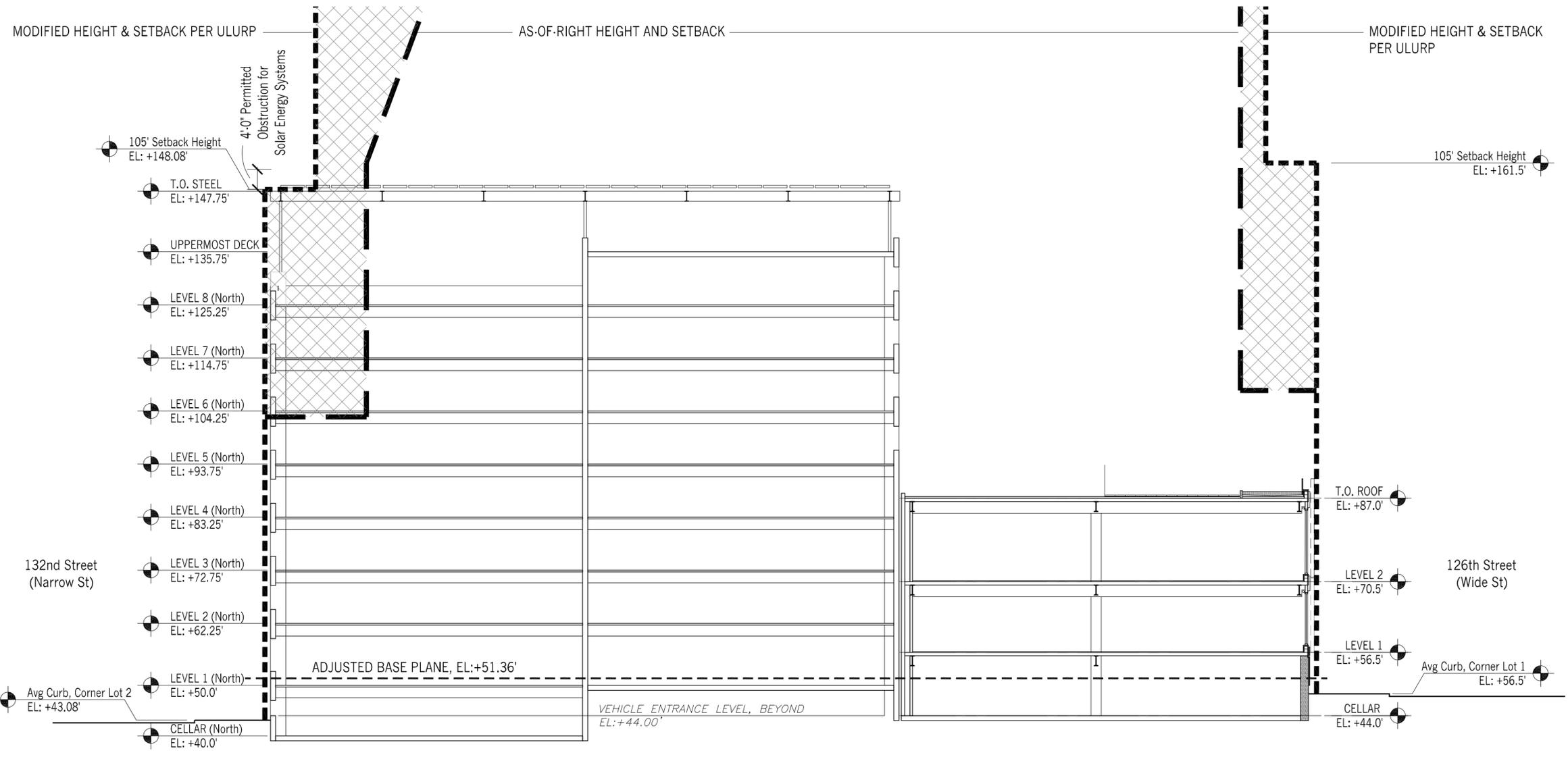
SCALE: VARIES DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
Z-002
DRAWING ORDER: 4 of 205



02 ZONING MASSING & ENVELOPE
NTS



01 ZONING SECTION AT CORNER LOTS 1 & 2
1/16" = 1'-0"

PROJECT INFORMATION

ADDRESS	NONE ESTABLISHED TO DATE
ZONING DISTRICT	C4-4 (EXISTING)
BLOCK NUMBER	9657
LOT NUMBER	1
LANDMARK STATUS	NO
LOT AREA	112,380 SF (PER ZOLA)
BUILDINGS ON LOT	1
NUMBER OF FLOORS	8
BUILDING GROSS AREA	247,314 SF
FILING CODE	2014 NYCBC

BUILDING CODE INFORMATION

I. APPLICABLE CODES AND STANDARDS

NEW YORK CITY BUILDING CODE, 2014 EDITION, AND ALL OF ITS SUB-CODES AND SELECTED LOCAL LAWS	
CONSTRUCTION CODES	
BUILDING CODE	2014 NEW YORK CITY BUILDING CODE (2014 NYCBC)
MECHANICAL CODE	2014 NEW YORK CITY MECHANICAL CODE (2014 NYCMC)
FUEL GAS CODE	2014 NEW YORK CITY FUEL GAS CODE (2014 NYFCG)
ELECTRICAL CODE	2014 NEW YORK CITY ELECTRICAL CODE (2014 NYCEC)
PLUMBING CODE	2014 NEW YORK CITY PLUMBING CODE (2014NYCPC)
ENERGY CODES	
LOCAL ENERGY CODE	2020 NEW YORK CITY ENERGY CONSERVATION CODE (2020 NYCECC)
STATE ENERGY CODE	2020 ENERGY CONSERVATION CODE OF THE STATE OF NEW YORK (2020 ECCCNY)

II. ACCESSIBILITY REQUIREMENTS

COMPLIANT WITH MOST STRINGENT OF:	
NEW YORK CITY LOCAL LAW ACCESSIBILITY REQUIREMENTS	NYC LOCAL LAW 57
AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) REQUIREMENTS	ANSI 117.1
2014 NEW YORK CITY BUILDING CODE REQUIREMENTS	NYCBC CHP 11
AMERICANS WITH DISABILITY ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN	2010 ADA GUIDELINES

III. BASIC CODE CHECKLIST

BUILDING CODE 2014 NYCBC			
	CODE REFERENCE	CODE REQUIREMENT	PROPOSED
OCCUPANCY CLASSIFICATION GROUP	CHAPTER 3	-	S-2; B
CONSTRUCTION CLASSIFICATION TYPE	CHAPTER 6	-	I-B
AREA	TABLE 503	UNLIMITED	247,314 SF
HEIGHT	TABLE 503	UNLIMITED	103.75 TO TOP OF STEEL TRELLIS
# OF STORIES	TABLE 503	UNLIMITED	8 PLUS STEEL TRELLIS

IV. USE AND OCCUPANCY CLASSIFICATION

BUILDING CHARACTERISTIC	CODE TEXT	CODE REFERENCE	
OCCUPANCY CLASSIFICATION GROUP	S-2 PARKING GARAGE, OPEN	SECTION 311.3	
	B BUSINESS	SECTION 304	
SEPARATED OCCUPANCY	2 HR REQUIREMENT	SECTION 508.4, TABLE 508.4	
INCIDENTAL USES	BOILER ROOM AND FIRE PUMP ROOM	2 HR	TABLE 509
	MECHANICAL AND ELECTRICAL EQUIPMENT ROOMS	1 HR	TABLE 509 NOTE C
	IT ROOMS	PER NYCEC	PER NYCEC

V. GENERAL BUILDING HEIGHTS AND AREAS

BASED ON GROUP S-2 TYPE I-B (NON-COMBUSTIBLE)			
ALLOWABLE HEIGHTS AND AREAS	MAXIMUM STORIES	UNLIMITED	TABLE 503
	MAXIMUM AREA	UNLIMITED	
PROPOSED BUILDING CHARACTERISTICS	NUMBER OF STORIES	8 PLUS STEEL TRELLIS	
	HEIGHT OF STRUCTURE	103.75' INCLUDING STEEL TRELLIS	
	AREA OF LARGEST FLOOR (FIRST)	40,625 SF	
	BUILDING AREA ALL FLOORS	256,512 SF	

BUILDING CODE INFORMATION (CONTINUED)

VI. TYPES OF CONSTRUCTION

CONSTRUCTION CLASSIFICATION		TYPE I-B (NON-COMBUSTIBLE)	TABLE 503
BUILDING ELEMENTS - FIRE RESISTANCE RATING	PRIMARY STRUCTURE	2 HR	TABLE 601
	BEARING WALLS	2 HR	
	NON-BEARING WALL	0 HR	
	FLOOR CONSTRUCTION	2 HR	
	ROOF CONSTRUCTION	1 HR	

VIII. FIRE AND SMOKE PROTECTION FEATURES

FIRE BARRIER	VERTICAL EXIT ENCLOSURE CONNECTING MORE THAN 2 STORIES	2 HR	SECTION 707
SHAFTS AND ELEVATOR HOISTWAYS	SHAFT ENCLOSURES CONNECTING MORE THAN 2 STORIES	2 HR	SECTION 708
FIRESTOPPING		NOT LESS THAN THE FIRE RATED WALL	SECTION 713
OPENING PROTECTIVE		ASSEMBLY RATING	MINIMUM FIRE DOOR AND FIRE SHUTTER ASSEMBLY RATING
	FIRE BARRIERS (1 HR OR MORE)	2HR	1 1/2 HR
	FIRE BARRIERS (1 HR)	1 HR	3/4 HR
	SHAFTS AND EXIT ENCLOSURES	2 HR	1 1/2 HR
	FIRE PARTITIONS	1 HR	1 HR
	SMOKE BARRIERS	1 HR	1/3 HR

IX. MEANS OF EGRESS

MINIMUM NUMBER OF EXITS	2 (1-500 PERSONS PER STORY)		SECTION 1015	
FLOOR AREA ALLOWANCE PER OCCUPANCY	B - BUSINESS	100 GSF / PERSON	TABLE 1004.1.1	
	S-2 PARKING GARAGE	200 GSF / PERSON		
	ACCESSORY STORAGE AREAS AND MECHANICAL EQUIPMENT ROOMS	300 GSF / PERSON		
EGRESS WIDTH	EGRESS COMPONENT - CORRIDOR	0.2 INCHES PER OCCUPANT	MINIMUM 44 INCHES	SECTION 1005
	EGRESS COMPONENT - DOOR	0.2 INCHES PER OCCUPANT	MINIMUM 32 INCHES	SECTION 1005, 1008
	STAIRWAYS	0.3 INCHES PER OCCUPANT	MINIMUM 44 INCHES	SECTION 1005, 1009
EXIT ACCESS	COMMON PATH OF EGRESS IN GROUP B	75'-0"		SECTION 1014.3
	COMMON PATH OF EGRESS IN GROUP S-2	75'-0"		
EXIT AND EXIT ACCESS DOORWAYS	SPACE WITH ONE EXIT	OCCUPANCY GROUP	MAXIMUM OCCUPANT LOAD	TABLE 1015.1
		B	74	
		S-2	29	
BOILER AND FURNACE ROOM (OVER 600 SF) REQUIRE 2 EXITS				
EXIT ACCESS TRAVEL DISTANCE	ALLOWABLE TRAVEL DISTANCE FOR GROUP B BUSINESS	200'		TABLE 1016.1
	ALLOWABLE TRAVEL DISTANCE FOR GROUP S-2	150'		
DEAD END CORRIDORS	MAXIMUM DEAD END CORRIDOR FOR GROUP B	20'		SECTION 1018.4
	MAXIMUM DEAD END CORRIDOR FOR GROUP S-2	20'		

X. EXIT DOOR CAPACITY

EXIT NO.	OPENING WIDTH	INCHES PER OCCUPANT	DOOR CAPACITY
EXIT 1	72"	.2	360
EXIT 2	36"	.2	180
EXIT 3	36"	.2	180
EXIT 4	72"	.2	360
EXIT 5A	36"	.2	180
EXIT 5B	36"	.2	180
EXIT 5C	36"	.2	180
EXIT 6	36"	.2	180
EXIT 7	72"	.2	360
EXIT 8	144"	.2	720
TOTAL EXIT CAPACITY			2,880

XI. OCCUPANT LOAD CHART

FOR CLARITY AND SIMPLICITY OF CODE CALCULATIONS AND DIAGRAMS, PARKING GARAGE FLOORS ARE NAMED AND ANALYZED PER STRUCTURAL DRAWINGS RATHER THAN ZONING DIAGRAMS.

FLOOR	OCCUPANCY	AREA	MAX ALLOWABLE	OCCUPANT LOAD	TOTAL
CELLAR	S-2 PARKING GARAGE	23,800 GSF	200 GSF / OCC	119	137
	MECHANICAL	MULTIPLE SPACES SEE G-012	300 GSF / OCC	18	
FIRST FLOOR	S-2 PARKING GARAGE	23,800 GSF	200 GSF / OCC	119	214
	B COMMUNITY CENTER	9,181 GSF	100 GSF / OCC	92	
SECOND FLOOR	S-2 PARKING GARAGE	23,800 GSF	200 GSF / OCC	119	242
	B COMMUNITY CENTER	11,922 GSF	100 GSF / OCC	120	
THIRD FLOOR	S-2 PARKING GARAGE	23,800 GSF	200 GSF / OCC	119	121
	MECHANICAL	MULTIPLE SPACES SEE G-013	300 GSF / OCC	3	
FOURTH FLOOR	S-2 PARKING GARAGE	23,800 GSF	200 GSF / OCC	119	121
	MECHANICAL	MULTIPLE SPACES SEE G-015	300 GSF / OCC	2	
FIFTH FLOOR	S-2 PARKING GARAGE	23,800 GSF	200 GSF / OCC	119	121
	MECHANICAL	MULTIPLE SPACES SEE G-015	300 GSF / OCC	2	
SIXTH FLOOR	S-2 PARKING GARAGE	23,800 GSF	200 GSF / OCC	119	121
	MECHANICAL	MULTIPLE SPACES SEE G-015	300 GSF / OCC	2	
SEVENTH FLOOR	S-2 PARKING GARAGE	23,800 GSF	200 GSF / OCC	119	121
	MECHANICAL	MULTIPLE SPACES SEE G-015	300 GSF / OCC	2	
EIGHTH FLOOR	S-2 PARKING GARAGE	23,800 GSF	200 GSF / OCC	119	121
	MECHANICAL	MULTIPLE SPACES SEE G-015	300 GSF / OCC	2	
TOTAL OCCUPANT LOAD					1319

XII. EGRESS CAPACITY

FLOOR	OCCUPANCY	OCCUPANT LOAD	STAIR WIDTH (@ x0.3" / OCC)		NO. OF STAIRS REQ'D	NO. OF STAIRS PROV'D	STAIR DISCHARGE OPENING WIDTH (@ x0.2" / OCC)		
			TOTAL REQ'D FOR FLOOR	PROVIDED			TOTAL REQ'D FOR FLOOR	PROVIDED WIDTH (REF STAIR #)	
FOR EGRESS ANALYSIS, STAIRS 1 & 2 ARE DEDICATED TO PARKING GARAGE. STAIRS 3, 4, & 5 ARE DEDICATED TO COMMUNITY CENTER.									
CELLAR	PARKING GARAGE	121*	36.3"	STAIR #1	44"	2	2	24.2"	36"
				STAIR #2	44"				36"
	COMMUNITY CENTER	16*	4.8"	STAIR #3	NA	2	2	3.2"	36"
				STAIR #4	44"				36"
				STAIR #5	44"				36"
FIRST FLOOR	PARKING GARAGE	121*	NA	STAIR #1	NA	0	0	24.2"	36"
				STAIR #2	NA				36"
	COMMUNITY CENTER	93*	32.4"	STAIR #3	44"	1**	1	18.6"	36"
				STAIR #4	GRADE				36"
				STAIR #5	GRADE				36"
** SLOPED SITE REQUIRES SINGLE EGRESS STAIR FROM GROUND FLOOR TO GRADE									
SECOND FLOOR	PARKING GARAGE	121*	36.3"	STAIR #1	44"	2	2	24.2"	36"
				STAIR #2	44"				36"
	COMMUNITY CENTER	121*	36.3"	STAIR #3	44"	2	3	24.2"	36"
				STAIR #4	44"				36"
				STAIR #5	44"				36"
THIRD FLOOR	PARKING GARAGE	121*	36.3"	STAIR #1	44"	2	2	24.2"	36"
				STAIR #2	44"				36"
FOURTH FLOOR	PARKING GARAGE	121*	36.3"	STAIR #1	44"	2	2	24.2"	36"
				STAIR #2	44"				36"
FIFTH FLOOR	PARKING GARAGE	121*	36.3"	STAIR #1	44"	2	2	24.2"	36"
				STAIR #2	44"				36"
SIXTH FLOOR	PARKING GARAGE	121*	36.3"	STAIR #1	44"	2	2	24.2"	36"
				STAIR #2	44"				36"
SEVENTH FLOOR	PARKING GARAGE	121*	36.3"	STAIR #1	44"	2	2	24.2"	36"
				STAIR #2	44"				36"
EIGHTH FLOOR	PARKING GARAGE	121*	36.3"	STAIR #1	44"	2	2	24.2"	36"
				STAIR #2	44"				36"



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REVISION	DESCRIPTION	DATE

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QUEENS GARAGE & COMMUNITY SPACE
80-25 126th St,
Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:

DRAWING TITLE:
CODE/EGRESS/ADA COMPLIANCE

SCALE: NTS DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
G-011

DRAWING ORDER: 6 of 205

*INCLUDES MECHANICAL OCCUPANT LOAD

- HUNTER ROBERTS CONSTRUCTION GROUP LLC
55 Water Street, New York, NY 10041
212.699.4749
- URBAHN ARCHITECTS
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212.239.0220
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212.616.0420
- THORNTON TOMASETTI
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- JAROS, BAUM & BOLLES / LIGHTBOX STUDIOS
80 Pine Street New York, NY 10015
212.530.9300
- JFK&M ENGINEERS, LLP
134 West 37th Street New York, NY 10018
212.792.8700

REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ
QUEENS GARAGE &
COMMUNITY SPACE**
80-25 126th St,
Kew Gardens, NY 11415

**TECHNICAL
DRAWINGS**

KEY PLAN:

DRAWING TITLE:
**EGRESS
PLANS**

SCALE: 1/16"=1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
G-012
DRAWING ORDER: 7 of 205

SYMBOL LEGEND:
 TRAVEL PATH
 EXIT SIGN
 REFERENCE G-011 FOR STAIR AND
DOOR WIDTH CALCULATIONS



01 CELLAR EGRESS PLAN
1/16" = 1'-0"

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JFK&M ENGINEERS, LLP 134 West 37th Street New York, NY 10018 212.792.8700

REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ
QUEENS GARAGE &
COMMUNITY SPACE**
80-25 126th St,
Kew Gardens, NY 11415

**TECHNICAL
DRAWINGS**

KEY PLAN:

DRAWING TITLE:
**EGRESS PLAN
SECOND FLOOR**

SCALE: 1/16"=1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
G-014
DRAWING ORDER: 9 of 205

SYMBOL LEGEND:
 TRAVEL PATH
 EXIT SIGN
 REFERENCE G-011 FOR STAIR AND
DOOR WIDTH CALCULATIONS

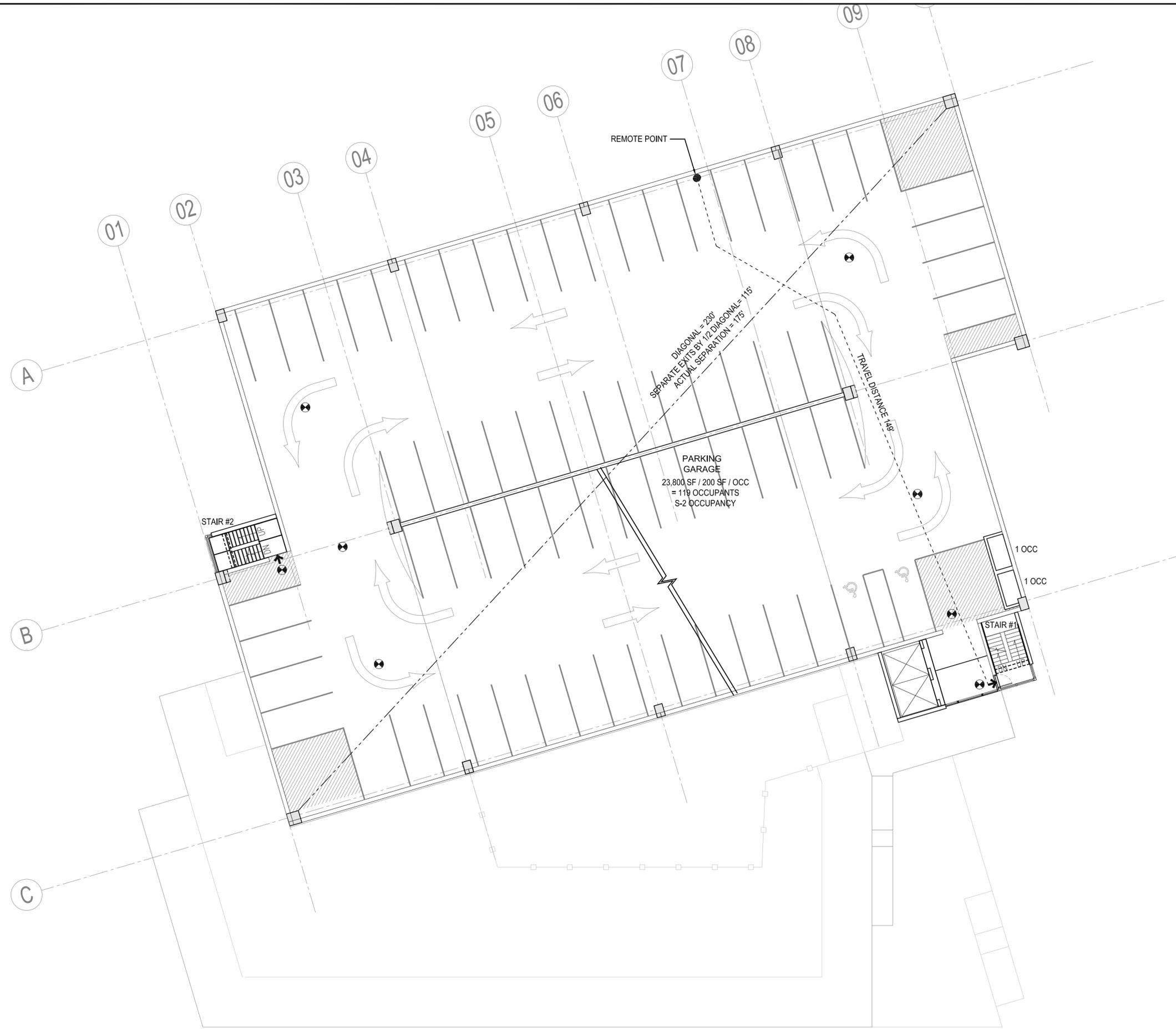


01 SECOND FLOOR EGRESS PLAN
1/16" = 1'-0"

- HUNTER ROBERTS CONSTRUCTION GROUP LLC
55 Water Street, New York, NY 10041
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SYMBOL LEGEND:

- ← ● TRAVEL PATH
 - ⊙ EXIT SIGN
- REFERENCE G-011 FOR STAIR AND DOOR WIDTH CALCULATIONS



PROJECT: **NYC BBJ**
QUEENS GARAGE & COMMUNITY SPACE
80-25 126th St,
Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:

DRAWING TITLE:
EGRESS PLAN
TYPICAL GARAGE
FLOOR

SCALE: 1/16"=1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
G-015
DRAWING ORDER: 10 of 205

01 TYPICAL GARAGE FLOOR EGRESS PLAN
1/16" = 1'-0"

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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ
QUEENS GARAGE & COMMUNITY SPACE
80-25 126th St,
Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:



DRAWING TITLE:
PROPOSED LOGISTICS PHASING - OVERALL

SCALE: DATE: SEPTEMBER 18, 2020

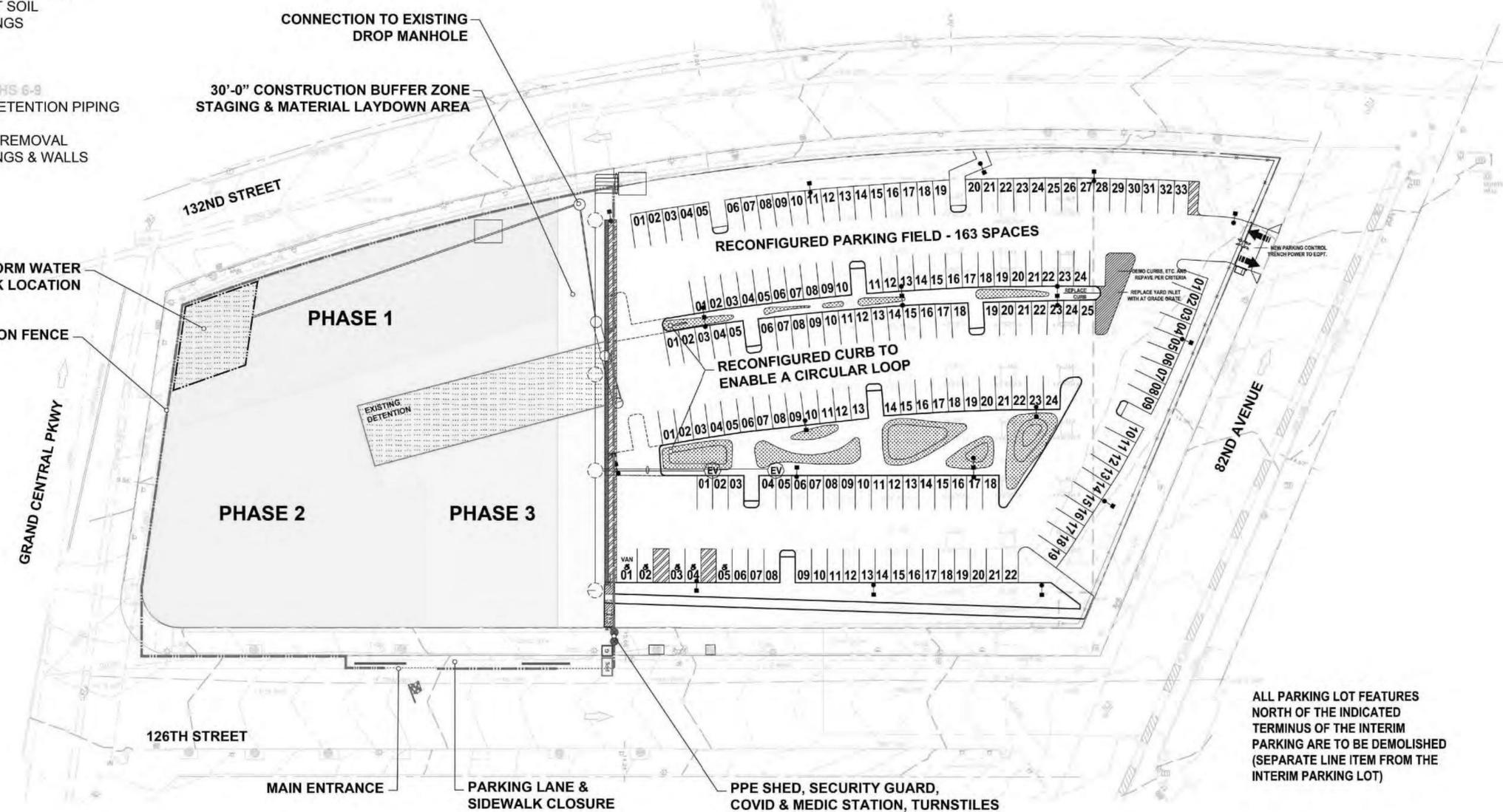
SEAL:

DRAWING NUMBER:
G-020
DRAWING ORDER: 11 of 205

- PHASE 1 AREA: MONTHS 1-4**
- INSTALL / REINFORCE SOE
 - CONSTRUCTION NEW DETENTION AREA
 - REMOVAL OF EXISTING FOOTINGS
 - EXCAVATE & EXPORT SOIL
 - INSTALL NEW FOOTINGS
 - BACKFILL
 - GRADE & STONE: CRANE PATH

- PHASE 2 AREA: MONTHS 3-7**
- INSTALL / REINFORCE SOE
 - COMPLETE PHASE 1 NEW DETENTION AREA
 - REMOVAL OF EXISTING FOOTINGS
 - EXCAVATE & EXPORT SOIL
 - INSTALL NEW FOOTINGS
 - BACKFILL
 - GRADE & STONE

- PHASE 3 AREA: MONTHS 6-9**
- REMOVE EXISTING DETENTION PIPING
 - SOE WORK
 - EXISTING FOOTINGS REMOVAL
 - INSTALL NEW FOOTINGS & WALLS
 - BACKFILL
 - GRADE & STONE



ALL PARKING LOT FEATURES
NORTH OF THE INDICATED
TERMINUS OF THE INTERIM
PARKING ARE TO BE DEMOLISHED
(SEPARATE LINE ITEM FROM THE
INTERIM PARKING LOT)

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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ
QUEENS GARAGE & COMMUNITY SPACE
80-25 126th St,
Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:

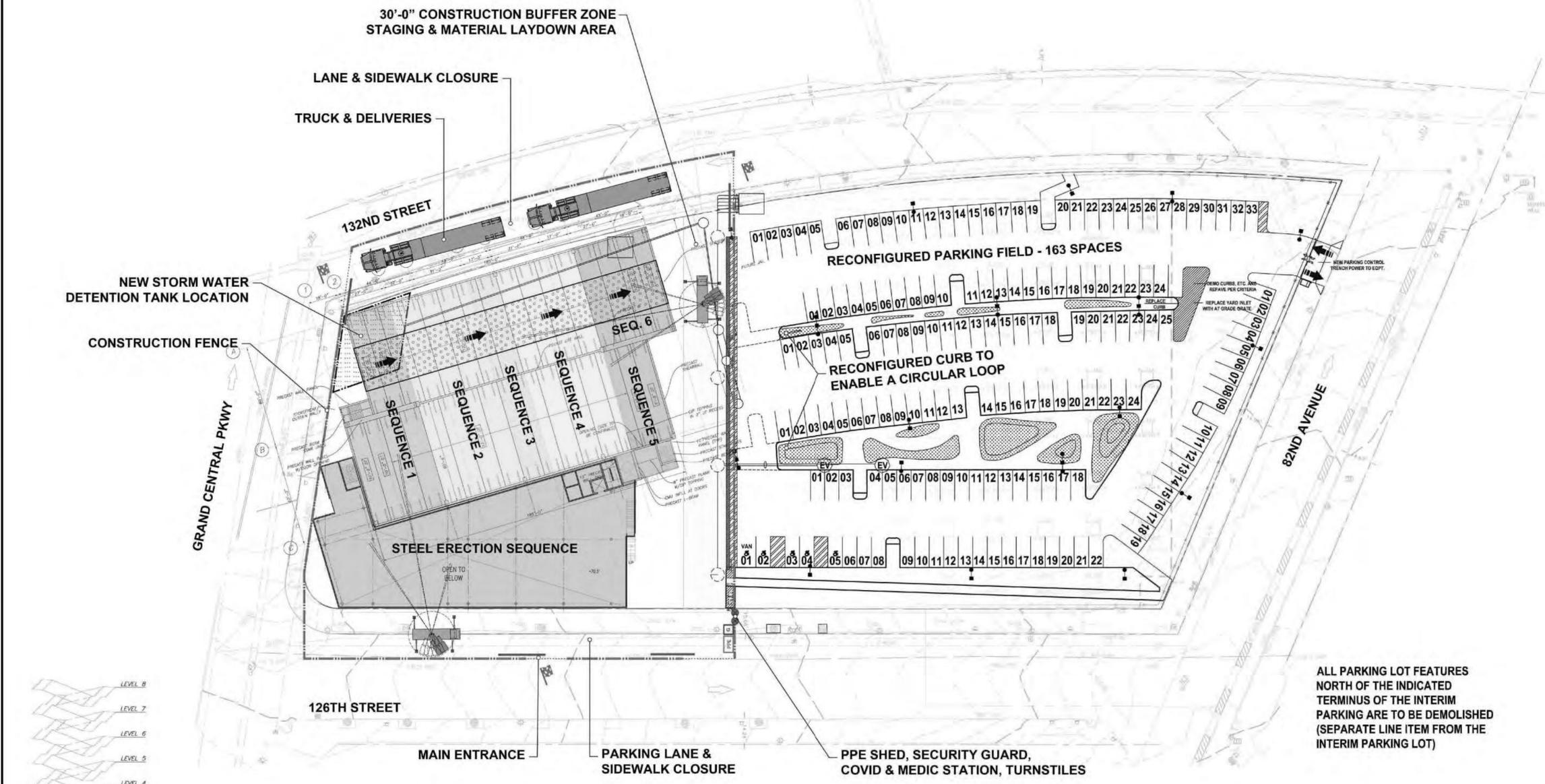
PROJECT NORTH

DRAWING TITLE:
**PROPOSED LOGISTICS
PRECAST
& STEEL ERECTION**

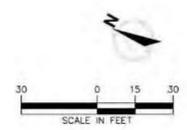
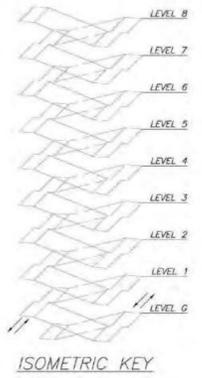
SCALE: DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
G-021
DRAWING ORDER: 11 12 of 205



ALL PARKING LOT FEATURES
NORTH OF THE INDICATED
TERMINUS OF THE INTERIM
PARKING ARE TO BE DEMOLISHED
(SEPARATE LINE ITEM FROM THE
INTERIM PARKING LOT)



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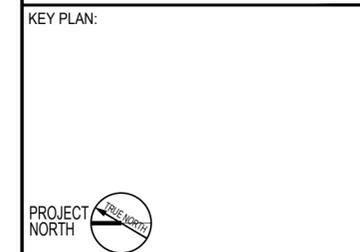
JAROS, BAUM & BOLLES / LIGHTBOX STUDIOS
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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ
QUEENS GARAGE & COMMUNITY SPACE
80-25 126th St,
Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:


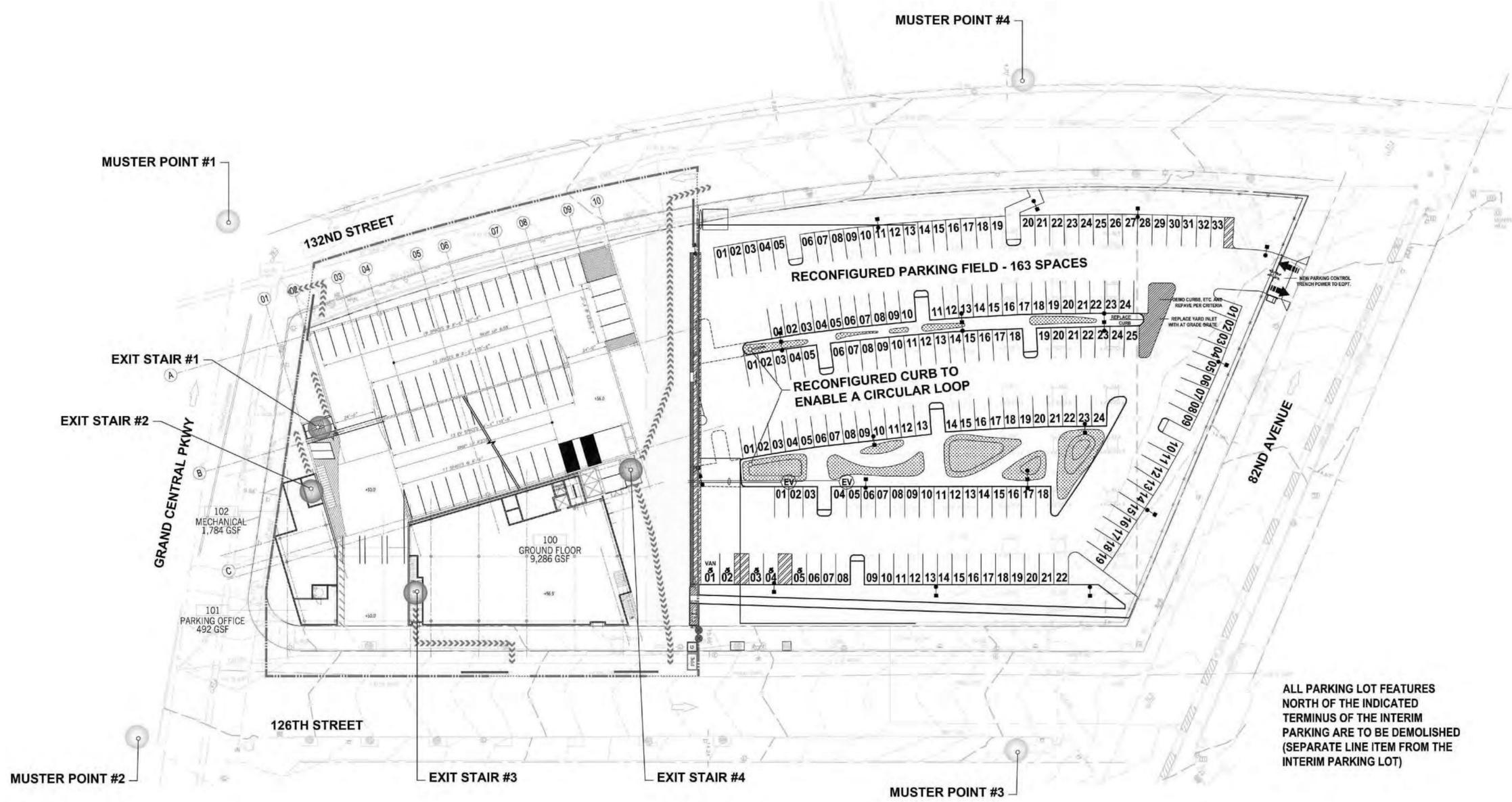
PROJECT NORTH 
DRAWING TITLE:
PROPOSED LOGISTICS LIFE AND SAFETY PLANS

SCALE: DATE: SEPTEMBER 18, 2020

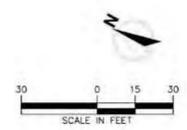
SEAL:

DRAWING NUMBER:
G-022

DRAWING ORDER: 11 13 of 205



ALL PARKING LOT FEATURES
NORTH OF THE INDICATED
TERMINUS OF THE INTERIM
PARKING ARE TO BE DEMOLISHED
(SEPARATE LINE ITEM FROM THE
INTERIM PARKING LOT)



Level	Number	Fire Rating	Material	Int/Ext	Frame Type	Anchorage	Jamb, Jamb, Head	Door Type	Lites	Size	Lock	Function	Hardware Set	Closer	Holdopens	Pos. Latching	Notes	Notes 2	Notes 3
C	001	Yes	HM	Ext	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1.1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
C	002		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Electrical Closet		
C	003		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Telecom Closet		
C	004	Not Used																	
C	005		HM	Int	Pair	ref plan	2,2,4	Flush 1.75 in	N	3070 3070	Commercial	Deadbolt	3	No	Yes	No	Trash Room	Diamondplate	Head/Foot Bolt
C	006	Yes	HM	Int	Pair	ref plan	2,2,4	Narrow Lite 1.75 in	100 sq in	3070 3070	Commercial	Storeroom	4	Yes (2)	No	Yes	Passageway	Diamondplate	Glazing both leafs
C	007	Yes	HM	Int	Single	ref plan	2,2,4	Narrow Lite 1.75 in	100 sq in	3070	Commercial	Passage	1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
C	008		HM	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	5	No	No	No	EMR	Gasketing	Threshold
C	009		HM	Int	Pair	ref plan	2,2,2	Flush 1.75 in	N	3070 3070	Commercial	Storeroom	6	No	No	No	Mech/Risers	Gasketing	Threshold
C	010		HM	Int	Pair	ref plan	2,2,2	Flush 1.75 in	N	3070 3070	Commercial	Storeroom	6.1	No	No	No	Water Meter	Threshold	
C	011		HM	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	5.2	No	No	No	Pump Room	Threshold	
C	012		HM	Int	Single	ref plan	2,2,2	Narrow Lite 1.75 in	100 sq in	3070	Commercial	Storeroom	5	No	No	No	Data/Telecom	Gasketing	Threshold
C	013	Yes	HM	Int	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Storeroom	5.1	Yes	No	Yes	Switchboard Rm	Gasketing	Threshold
C	014	Yes	HM	Int	Pair	ref plan	2,2,4	Narrow Lite 1.75 in*	100 sq in*	3070 3070	Commercial	Storeroom	6.2	Yes*	Yes	Yes	Switchboard Rm	Gasketing	Threshold
C	015	Yes	HM	Int	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Storeroom	5.1	Yes	No	Yes	ATS Room	Gasketing	Threshold
C	016	Yes	HM	Int	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Storeroom	5.1	Yes	No	Yes	Switchboard Rm	Gasketing	Threshold
C	017	Yes	HM	Int	Single	ref plan	2,2,4	Narrow Lite 1.75	100 sq in	3070	Commercial	Passage	1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
C	018		HM	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	5	No	No	No	Comm/IT	Gasketing	Threshold
C	019		HM	Int	Pair	ref plan	2,2,4	Flush 1.75 in	N	3070 3070	Commercial	Storeroom	6.1	No	Yes	No	Fire Pump Room	Threshold	
1	001	Yes	HM	Ext	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1.1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
1	002		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Electrical Closet		
1	003		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Telecom Closet		
1	004	Not Used																	
1	005		Alum	Ext	Pair	ref plan	2,2,2	Fully Glazed 1.75 in	Full	3070 3070	Commercial	Passage	7	Yes (2)	No	No	Parking Entry	Gasketing	Threshold
1	006		Alum	Ext	Pair	ref plan	2,2,2	Fully Glazed 1.75 in	Full	3070 3070	Commercial	Keyed H/F	7.1	Yes (2)	No	No	Comm Ctr Entry	Gasketing	Threshold
1	007		Alum	Ext	Pair	ref plan	2,2,2	Fully Glazed 1.75 in	Full	3070 3070	Commercial	Keyed H/F	7.1	Yes (2)	No	No	Comm Ctr Entry	Gasketing	Threshold
1	008		Alum	Ext	Pair	ref plan	2,2,2	Fully Glazed 1.75 in	Full	3070 3070	Commercial	Keyed H/F	7.1	Yes (2)	No	No	Comm Ctr Entry	Gasketing	Threshold
1	009	Yes	HM	Ext	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1.1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
1	010		HM	Int	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
1	011		Wood	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Privacy	8	No	No	No	Toilet	"Occupied" Indic.	
1	012		Alum	Ext	Single	ref plan	2,2,2	Fully Glazed 1.75 in	Full	3070	Commercial	Classroom	11	No	No	No	Parking Office	Gasketing	Threshold
1	013		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Privacy	8	No	No	No	Commuter	"Occupied" Indic.	Gasketing, Threshold
1	014		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Parking Storage	Gasketing	Threshold
1	015	Yes	HM	Ext	Pair	ref plan	2,2,4	Flush 1.75 in	N	3070 3070	Commercial	Storeroom	6.2	Yes*	No	Yes	Suite Access	Gasketing	Threshold
1	016		HM	Int	Pair	ref plan	2,2,2	Flush 1.75 in	N	3070 3070	Commercial	Storeroom	6.1	No	No	No	Water Service	Threshold	
1	017	Yes	HM	Int	Pair	ref plan	2,2,4	Flush 1.75 in	N	3070 3070	Commercial	Storeroom	6.2	Yes*	No	Yes	Generator	Gasketing	Threshold
1	018	Yes	HM	Int	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Storeroom	5.3	Yes	No	Yes	Generator Cntr	Gasketing	Threshold
1	019	Yes	HM	Ext	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1.1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
1	020		Wood	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Deadbolt	9	No	No	No	Janitor's Closet	Gasketing	Threshold
1	021		Wood	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Privacy	8	No	No	No	Toilet	"Occupied" Indic.	
1	022		Wood	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Privacy	8	No	No	No	Toilet	"Occupied" Indic.	
1	023		Wood	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Deadbolt	5.4	No	No	No	Mech/Risers	Gasketing	Threshold
1	024	Yes	HM	Int	Single	ref plan	2,2,4	Narrow Lite 1.75 in	100 sq in	3070	Commercial	Passage	1	Yes	No	Yes	Conv. Stair	Gasketing	Threshold
1	025	Yes	HM	Int	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
1	026	Yes	HM	Int	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
2	001	Yes	Wood	Int	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
2	002		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Electrical Closet		
2	003		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Telecom Closet		
2	004	Not Used																	
2	005		Alum	Ext	Pair	ref plan	2,2,2	Fully Glazed 1.75 in	Full	3070 3070	Commercial	Passage	7	Yes (2)	No	No	Parking Lobby	Gasketing	Threshold
2	006		Alum	Ext	Pair	ref plan	2,2,2	Fully Glazed 1.75 in	Full	3070 3070	Commercial	Keyed H/F	7.1	Yes (2)	No	No	Comm Ctr Entry	Gasketing	Threshold
2	007		Wood	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Deadbolt	9	No	No	No	Janitor's Closet	Gasketing	Threshold
2	008		Wood	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Privacy	8	No	No	No	Toilet	"Occupied" Indic.	
2	009		Wood	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Privacy	8	No	No	No	Toilet	"Occupied" Indic.	
2	010		Wood	Int	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Deadbolt	5.3	Yes	No	No	Mech/Risers	Gasketing	Threshold
2	011	Yes	Wood	Int	Single	ref plan	2,2,4	Narrow Lite 1.75 in	100 sq in	3070	Commercial	Passage	1	Yes	No	Yes	Conv. Stair	Gasketing	Threshold
3	001		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Electrical Closet		
3	002		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Telecom Closet		
4	001		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Electrical Closet		
4	002		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Telecom Closet		
4	003	Not Used																	
4	004		Alum	Ext	Pair	ref plan	2,2,2	Fully Glazed 1.75 in	Full	3070 3070	Commercial	Keyed H/F	7	Yes (2)	No	No	Parking Lobby	Gasketing	Threshold
4	005	Yes	HM	Ext	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1.1	Yes	No	Yes	Conv. Stair	Gasketing	Threshold
5	001		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Electrical Closet		
5	002		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Telecom Closet		
6	001		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Electrical Closet		
6	002		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Telecom Closet		
7	001		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Electrical Closet		
7	002		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Telecom Closet		
8	001		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Electrical Closet		
8	002		HM	Ext	Single	ref plan	2,2,2	Flush 1.75 in	N	3070	Commercial	Storeroom	2	No	No	No	Telecom Closet		
8	003	Yes	HM	Ext	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1	Yes	No	Yes	Egress Stair	Gasketing	Threshold
8	004	Yes	HM	Ext	Single	ref plan	2,2,4	Flush 1.75 in	N	3070	Commercial	Passage	1.1	Yes	No	Yes	Egress Stair	Gasketing	Threshold

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JFK&M ENGINEERS, LLP 134 West 37th Street, New York, NY 10018 212.792.8700		

REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ
QUEENS GARAGE & COMMUNITY SPACE
 80-25 126th St,
 Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:

DRAWING TITLE:
DOOR SCHEDULE

SCALE: NTS DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
G-030
 DRAWING ORDER: 14 of 205

REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ
QUEENS GARAGE &
COMMUNITY SPACE**
80-25 126th St,
Kew Gardens, NY 11415

**TECHNICAL
DRAWINGS**

KEY PLAN:

DRAWING TITLE:
HARDWARE SCHEDULE

SCALE: NTS DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
G-031
DRAWING ORDER: 15 of 205

Hardware Sets

<p>Set: 1.0 Stair Door (Interior)</p> <ul style="list-style-type: none"> 3 Hinge 1 Passage Set 1 Door Closer 1 Wall / Floor Stop 3 Gasketing 1 Threshold 	<p>Set: 4.0 Passageway Pair Doors with Holdopens</p> <ul style="list-style-type: none"> 6 Hinge 2 Flush Bolt (inactive leaf) 1 Dust Proof Strike 1 Storeroom Lock 2 Closer with 110 degree holdopen 2 48" Diamond Plate 	<p>Set: 5.3 Mechanical Room</p> <ul style="list-style-type: none"> 3 Hinge 1 Storeroom Lock 1 Door Closer 1 Wall / Floor Stop 3 Gasketing 1 Threshold 	<p>Set 6.2 Mechanical Pair Doors</p> <ul style="list-style-type: none"> 6 Hinge 2 Flush Bolt (inactive leaf) 1 Dust Proof Strike 1 Storeroom Lock 1 Closer with 110 degree holdopen 4 Gasketing 2 Threshold 	<p>Set: 9.0 Janitor's Closet</p> <ul style="list-style-type: none"> 3 Hinge 1 Deadbolt 3 Gasketing 1 Threshold
<p>Set: 1.1 Stair Door (Exterior)</p> <ul style="list-style-type: none"> 3 Hinge 1 Passage Set 1 Door Closer 1 Wall / Floor Stop 3 Gasketing 1 Threshold 1 Door Cap 	<p>Set: 5.0 Mechanical Room</p> <ul style="list-style-type: none"> 3 Hinge 1 Storeroom Lock 1 Dust Proof Strike 1 Wall / Floor Stop 3 Gasketing 1 Threshold 	<p>Set: 5.4 Mechanical Room</p> <ul style="list-style-type: none"> 3 Hinge 1 Deadbolt 1 Wall / Floor Stop 3 Gasketing 1 Threshold 	<p>Set: 7.0 Parking Lobby Entrance Pair Doors</p> <ul style="list-style-type: none"> 6 Hinge 1 Passage Set 2 Concealed Closer with 110 degree Overhead Stop 4 Gasketing 2 Automatic Door Bottom 	<p>Set: 10.0 Mechanical Room</p> <ul style="list-style-type: none"> 3 Hinge 1 Deadbolt 1 Wall / Floor Stop 3 Gasketing 1 Threshold
<p>Set: 2.0 Closet</p> <ul style="list-style-type: none"> 3 Hinge 1 Storeroom Lock 1 Wall / Floor Stop 3 Silencer 	<p>Set: 5.1 Mechanical Room</p> <ul style="list-style-type: none"> 3 Hinge 1 Storeroom Lock 1 Door Closer 1 Dust Proof Strike 1 Wall / Floor Stop 3 Silencer 	<p>Set 6.0 Mechanical Pair Doors</p> <ul style="list-style-type: none"> 6 Hinge 2 Flush Bolt (inactive leaf) 1 Dust Proof Strike 1 Storeroom Lock 4 Gasketing 2 Threshold 2 Wall / Floor Stop 	<p>Set 7.1 Community Center Entrance Pair Doors</p> <ul style="list-style-type: none"> 6 Hinge 4 Head/Foot Cylinder Deadbolt 1 Fail Secure Electric Lock 2 Concealed Closer with 110 degree Overhead Stop 4 Gasketing 2 ElectroLynx Harness - Door 2 ElectroLynx Harness - Frame 1 Card Reader 1 Power Supply 2 Threshold 	<p>Set: 11.0 Parking Office</p> <ul style="list-style-type: none"> 3 Hinge 1 Classroom Lock 1 Concealed Closer with 110 degree Ovhd. Stop 3 Gasketing 1 Threshold
<p>Set: 3.0 Trash Room Pair Doors with Holdopens</p> <ul style="list-style-type: none"> 6 Hinge 2 Surface Mounted Flush Bolt (inactive leaf) 1 Dust Proof Strike 1 Deadbolt 2 Adjustable Surface Overhead Stop 2 48" Diamond Plate 	<p>Set: 5.2 Mechanical Room</p> <ul style="list-style-type: none"> 3 Hinge 1 Storeroom Lock 1 Dust Proof Strike 1 Wall / Floor Stop 3 Silencer 1 Threshold 	<p>Set 6.1 Mechanical Pair Doors</p> <ul style="list-style-type: none"> 6 Hinge 2 Flush Bolt (inactive leaf) 1 Dust Proof Strike 1 Storeroom Lock 2 Silencer 2 Threshold 	<p>Set: 8.0 Toilet</p> <ul style="list-style-type: none"> 3 Hinge 1 Passage Set 	

01 HARDWARE SETS
NTS

	Room	Floor	Base	Walls				Ceiling	Notes
				North	South	East	West		
CELLAR									
C01	Main Parking Garage	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
C02	Parking Lobby	Concrete	-	Concrete, PTD	Concrete	Concrete	Concrete	Concrete	
C11	Corridor	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
C12	Elevator Machine Room	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
C13	Mechanical Room + Risers	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
C14	Water Meter Pump Room	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
C15	House Pump + Sump Pump	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
C16	Incoming Data + Telcom	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
C17	Incoming Elec Service + Switchboard Room	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
C18	ATS Room	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
C19	Comm / IT Room	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
C20	Fire Pump Room	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
C21	Trash	Concrete	-	Concrete	Concrete	Concrete	Concrete	Exposed Deck+Framing	
ST1	Parking Garage Stair, South	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
ST2	Parking Garage Stair, North	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
ST3	(not at this level)								
ST4	Egress Stair	Concrete	-	Concrete	CMU	Concrete	Concrete	Exposed Deck+Framing	
ST5	Community Center Stair	Concrete	-	CMU	Concrete	CMU	CMU	Concrete	
FIRST FLOOR									
101	Main Parking Garage	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
102	Parking Lobby	Concrete	-	Concrete, PTD	Concrete	Concrete	Concrete	Concrete	
103	Vehicle Entry, 126th St	Concrete	-	Finished Cement Board	Finished Cement Board	Open to Street	Open to Garage	Finished Cement Board	
104	Parking Office	Resilient Floor	Rubber	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	
105	Parking Storage	Concrete	-	CMU	CMU	CMU	GWB, PTD / CMU	GWB, PTD	
106	Parking WC	Tile	Tile	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	
107	Commuter WC+Shower	Tile	Tile	Tile	Tile	Tile	Tile	GWB, PTD	
110	Tenant Space / Community Center	Concrete	-	GWB, PTD	GWB, PTD	CMU / GWB, PTD	GWB, PTD	Exposed Deck+Framing	
111	Mechanical Room	Concrete	Rubber	GWB, PTD	GWB, PTD	CMU	GWB, PTD	Exposed Deck+Framing	
112	WC	Tile	Tile	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	
113	WC	Tile	Tile	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	
114	Janitor	Tile	Tile	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	
120	Service Corridor	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
121	Water Service Room	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
122	Generator	Concrete	-	Louver	CMU	Louver / CMU	CMU	Cement Panel Board	
123	Generator Control Room	Concrete	-	CMU	CMU	CMU	CMU	Exposed Deck+Framing	
ST1	Parking Garage Stair, South	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
ST2	Parking Garage Stair, North	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
ST3	Egress Stair, North	Concrete	-	CMU	Concrete	CMU	CMU	Concrete	
ST4	Egress Stair, West	Concrete	-	CMU	GWB, PTD	GWB, PTD	GWB, PTD	Exposed Deck+Framing	
ST5	Community Center Stair	Concrete	-	GWB, PTD	GWB, PTD	CMU	CMU	Concrete	
SECOND FLOOR									
201	Main Parking Garage	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
202	Parking Lobby	Concrete	-	Concrete, PTD	Concrete	Concrete	Concrete	Concrete	
210	Tenant Space / Community Center	Concrete	-	GWB, PTD	GWB, PTD	CMU / GWB, PTD	GWB, PTD	Exposed Deck+Framing	
211	Mechanical Room	Concrete	Rubber	GWB, PTD	GWB, PTD	CMU	GWB, PTD	Exposed Deck+Framing	
212	WC	Tile	Tile	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	
213	WC	Tile	Tile	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	
214	Janitor	Tile	Tile	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	GWB, PTD	
ST1	Parking Garage Stair, South	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
ST2	Parking Garage Stair, North	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
ST3	Egress Stair, North	Concrete	-	CMU	Concrete	CMU	CMU	Concrete	
ST4	Egress Stair, West	Concrete	-	CMU	GWB, PTD	GWB, PTD	GWB, PTD	Exposed Deck+Framing	
ST5	Community Center Stair	Concrete	-	GWB, PTD	GWB, PTD	CMU	CMU	Concrete	
THIRD FLOOR									
301	Main Parking Garage	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
302	Parking Lobby	Concrete	-	Concrete, PTD	Concrete	Concrete	Concrete	Concrete	
(Tenant/Community Ctr Rooms open to below)									
ST1	Parking Garage Stair, South	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
ST2	Parking Garage Stair, North	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
FOURTH FLOOR									
401	Main Parking Garage	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
402	Parking Lobby	Concrete	-	Concrete, PTD	Concrete	Concrete	Concrete	Concrete	
ST1	Parking Garage Stair, South	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
ST2	Parking Garage Stair, North	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
ST5	Community Center Stair	Concrete	-	GWB, PTD	GWB, PTD	CMU	CMU	Concrete	
FIFTH - EIGHTH FLOORS									
501-801	Main Parking Garage	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
502-802	Parking Lobby	Concrete	-	Concrete, PTD	Concrete	Concrete	Concrete	Concrete	
ST1	Parking Garage Stair, South	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	
ST2	Parking Garage Stair, North	Concrete	-	Concrete	Concrete	Concrete	Concrete	Concrete	



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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ
QUEENS GARAGE & COMMUNITY SPACE
80-25 126th St,
Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:

DRAWING TITLE:
SCHEDULES - FINISHES

SCALE: DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
G-032
DRAWING ORDER: 16 of 205

PLANTING ZONES LEGEND

- (A) EAST-FACING PLANTERS
- (B) NORTH-FACING PLANTERS
- (C) SOUTH-FACING PLANTERS
- (D) INTENSIVE GREEN ROOF
- (E) EXTENSIVE GREEN ROOF
- (F) AGRICULTURAL PLANTINGS (EXTENSIVE)
- (G) LANDSCAPED PAVING/PAVERS ON CONCRETE SLAB
- (H) LANDSCAPED PAVERS ON PEDESTALS
- (I) CIP CONCRETE PATH
- (J) 30' BUFFER, GRADED AND TOPPED WITH GRAVEL (FINISHED BUFFER BUILD-OUT N.I.C.)
- (K) EXISTING STREET TREES
- (L) STREET TREES TO BE REMOVED

TYPICAL NYCOT SIDEWALK TREATMENT

PLANTED AREA

01 L-103 CONCRETE PAVING

03 L-103 STONE DRAINAGE, TYP.

PLANTED AREA

03 L-103 STONE DRAINAGE, TYP.

04 L-103 CONCRETE PLANTER WALL

EXISTING TREE TO BE REMOVED, TYP.

EXISTING TREE TO BE PROTECTED AND REMAIN

04 L-103 CONCRETE PLANTER WALL

03 L-103 STONE DRAINAGE, TYP.

01 L-103 CONCRETE PAVING

PROPERTY DELINEATION LINE DEMARCATED WITH EDGE OF CONCRETE WALL OR EXPANSION JOINT, TYP.

02 L-103 CONCRETE PAVERS

04 L-103 CONCRETE PLANTER WALL

01 FIRST FLOOR LANDSCAPE PLAN
1/16" = 1'-0"

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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ
QUEENS GARAGE &
COMMUNITY SPACE**
80-25 126th St,
Kew Gardens, NY 11415

**TECHNICAL
DRAWINGS**

KEY PLAN:

PROJECT NORTH 

DRAWING TITLE:
**LANDSCAPE
PLAN**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
L-101

DRAWING ORDER: 18 of 205

PLANTING ZONES LEGEND

- A. EAST-FACING PLANTERS
- B. NORTH-FACING PLANTERS
- C. SOUTH-FACING PLANTERS
- D. INTENSIVE GREEN ROOF
- E. EXTENSIVE GREEN ROOF
- F. AGRICULTURAL PLANTINGS (EXTENSIVE)
- G. LANDSCAPED PAVING/PAVERS ON CONCRETE SLAB
- H. LANDSCAPED PAVERS ON PEDESTALS
- I. CIP CONCRETE PATH
- J. 30' BUFFER, GRADED AND TOPPED WITH GRAVEL (FINISHED BUFFER BUILD-OUT N.I.C.)
- K. EXISTING STREET TREES
- L. STREET TREES TO BE REMOVED
- M. PRECAST CONCRETE STAIR
- N. PRECAST CONCRETE RAMP

PLANTING NOTES

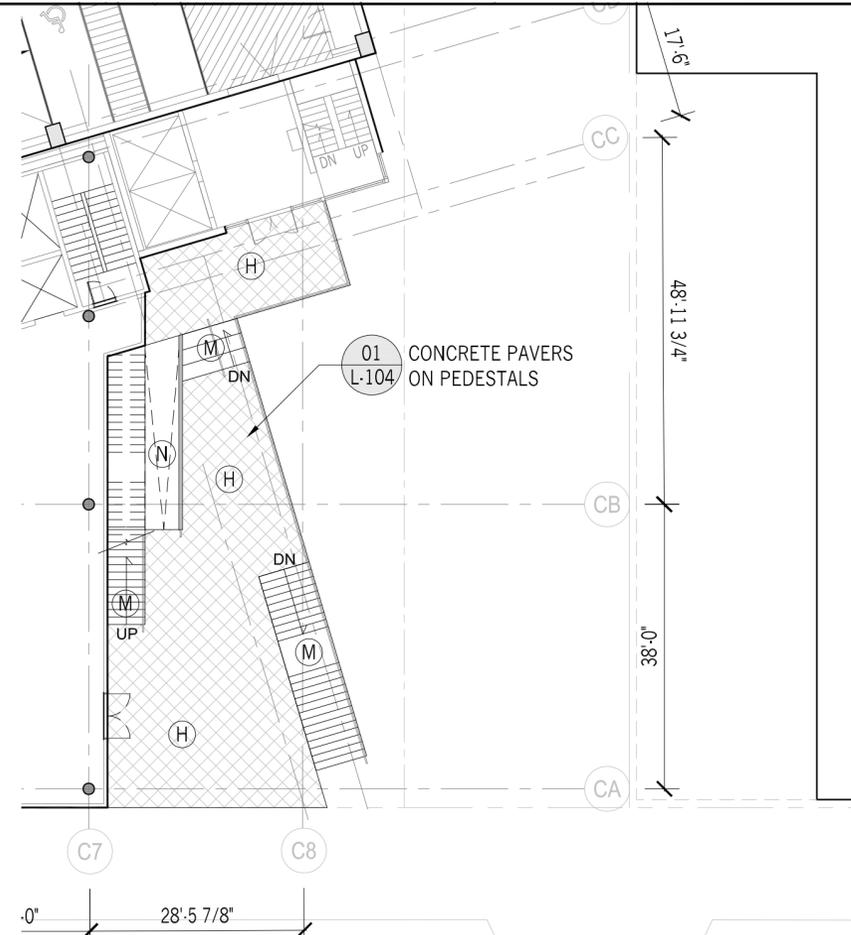
1. Prior to commencing planting operations the contractor shall stake out the exact location of all trees, shrubs and herbaceous plants for the landscape architect's approval. All planting operations and layout shall proceed under close coordination with the landscape architect. Tree locations may vary as directed by the landscape architect.
2. Plant material will be inspected and approved at place of growth by landscape architect. However, plant material which has become damaged or diseased or which is unacceptable to the landscape architect may be rejected upon delivery to the site.
3. The actual location of plant materials may vary due to the field conditions. Final placement of plant material shall be approved before the pits are dug. If initial placement is not satisfactory, plants shall be relocated in the field at the direction of the landscape architect at no additional cost to the owner.
4. The contractor is to use care during digging and planting to avoid disturbing or damaging any adjacent or underground utilities and built items. Repair to any damage resulting from this construction will be the contractors responsibility and shall be restored at their expense to the satisfaction of the landscape architect.
5. Should there be any discrepancies between the quantities called for on the plant list and those indicated on the plan, the greater quantity shall govern.
6. All trees shall be "deadmaned" with a minimum of three (3) CMU's per tree as shown on the planting details, unless otherwise noted.
7. At all times the site shall be kept neat, and shall be kept free of debris left from the planting operations.
8. All trees in the same planting area shall be placed and planted at the same time. If because of delivery schedule, any plant remains on the site for more than 24 hours, they shall be heeled-in on site to maintain their health and vitality. Plants shall be otherwise protected and maintained, including, but not limited to, water and shade. Any plants deemed not in satisfactory health or condition at time of planting shall be replaced at the contractors expense. All shrubs designated for reuse that cannot be replanted immediately after digging shall be heeled-in as noted.

STREET TREE TALLY

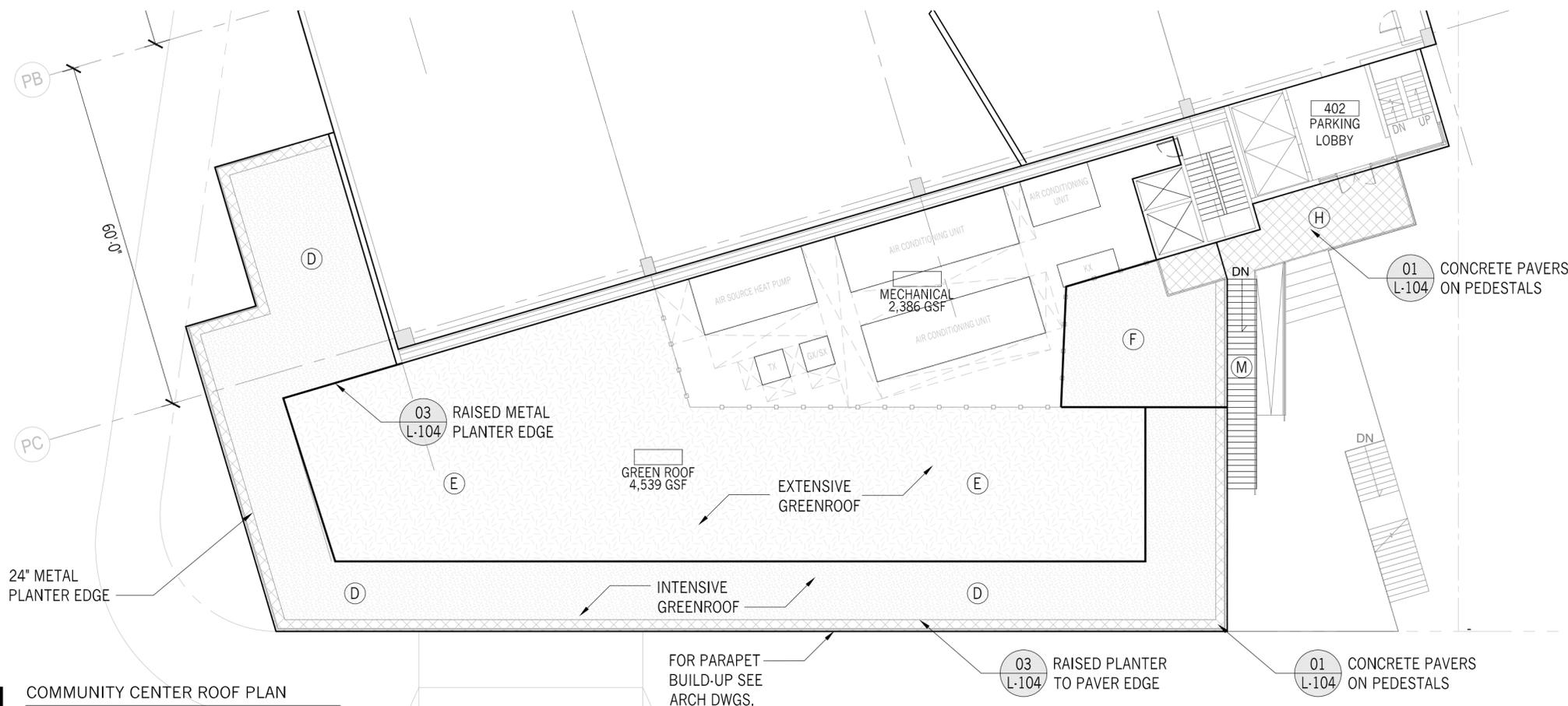
STREET TREES TO REMAIN	13
STREET TREES TO BE REMOVED	2

IRRIGATION NOTES

1. An irrigation system inclusive of all required components and installation for a fully functional automatic irrigation system at all planted areas shall be included as part of the base bid.
2. System shall be installed by a water sense certified professional and utilize smart irrigation controls and design.
3. Submit shop drawing for approval.



02 COMMUNITY CENTER LEVEL 02 TERRACE
1/16" = 1'-0"



01 COMMUNITY CENTER ROOF PLAN
1/16" = 1'-0"



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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ
QUEENS GARAGE & COMMUNITY SPACE
80-25 126th St,
Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:

PROJECT NORTH

DRAWING TITLE:
LANDSCAPE PLAN

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
L-102
DRAWING ORDER: 19 of 205

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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ
QUEENS GARAGE &
COMMUNITY SPACE**
80-25 126th St,
Kew Gardens, NY 11415

**TECHNICAL
DRAWINGS**

KEY PLAN:

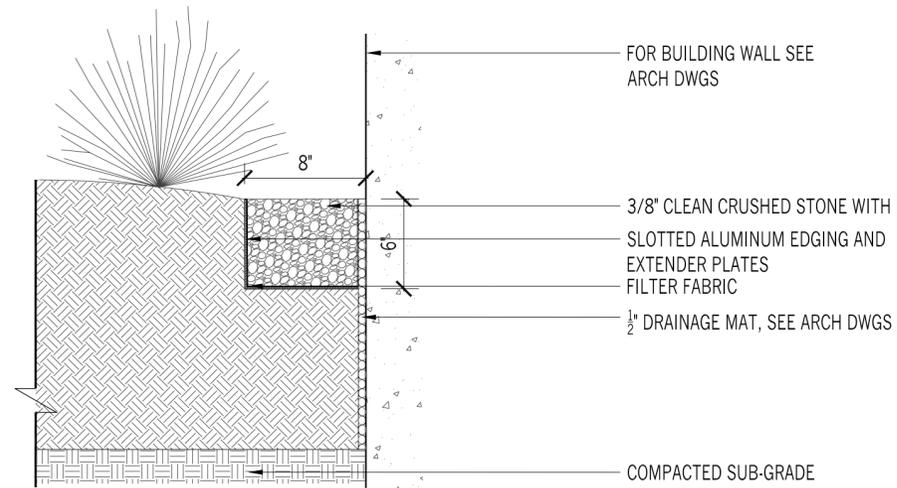


DRAWING TITLE:
**TYP LANDSCAPE
DETAILS**

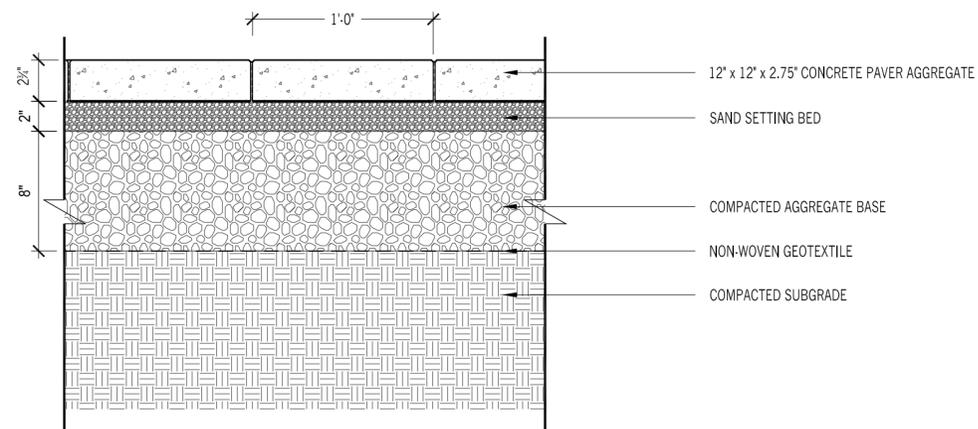
SCALE: VARIES DATE: SEPTEMBER 18, 2020

SEAL:

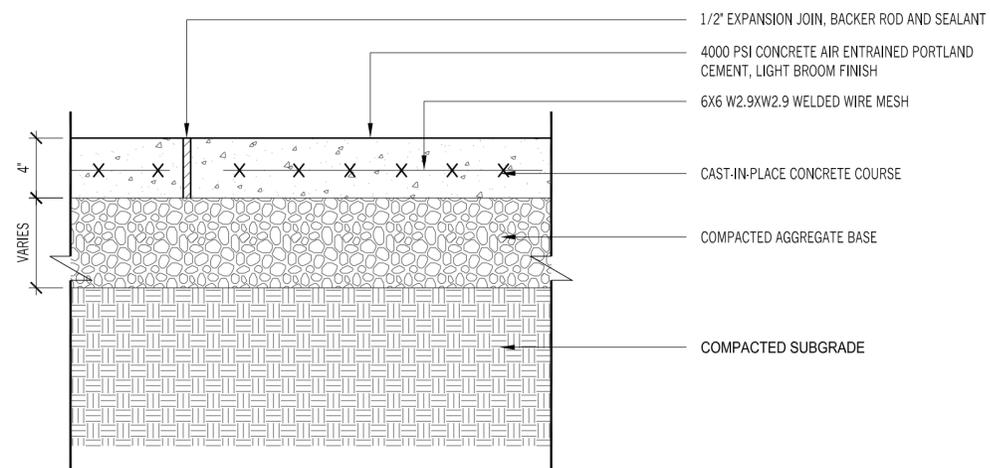
DRAWING NUMBER:
L-103
DRAWING ORDER: 20 of 205



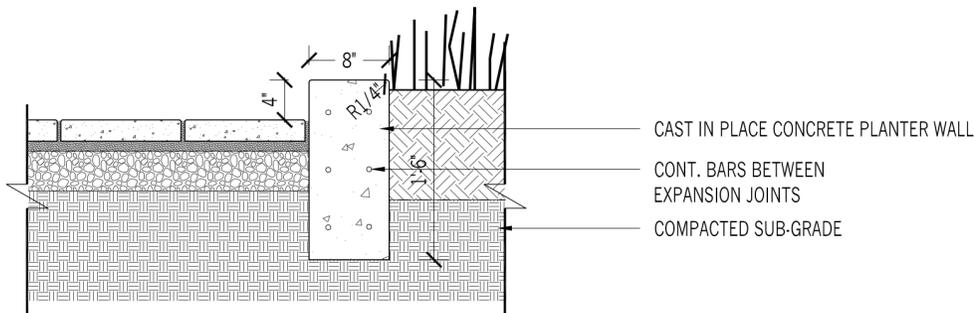
03 STONE DRAINAGE COURSE
SCALE: 1 1/2" = 1'-0"



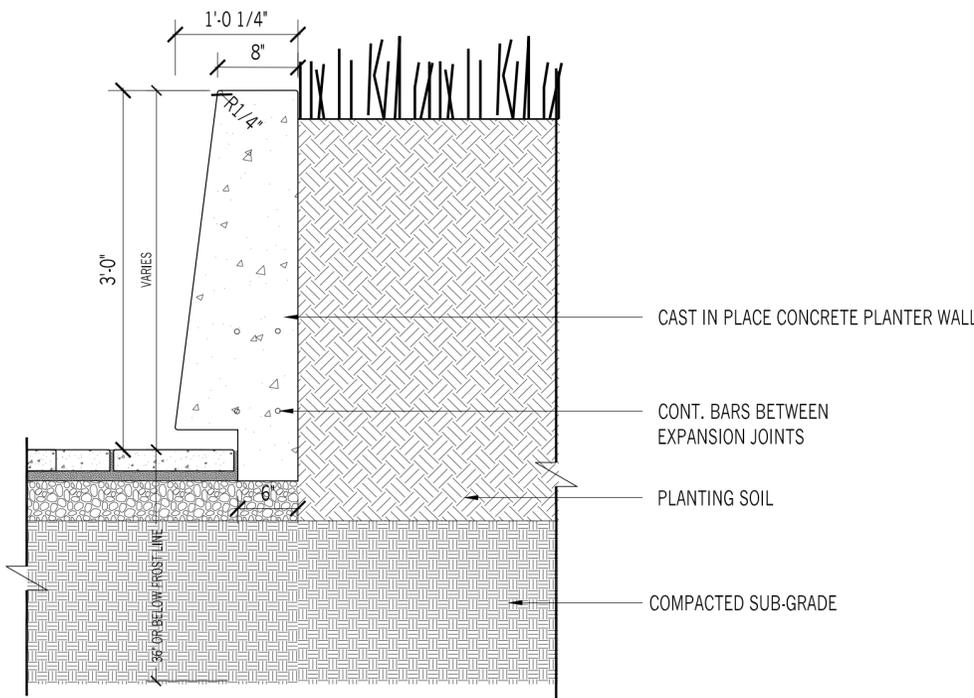
02 CONCRETE UNIT PAVERS
SCALE: 1 1/2" = 1'-0"



01 CIP CONCRETE PAVING W/ EXPOSED AGGREGATE
SCALE: 1 1/2" = 1'-0"



05 CUSTOM CONCRETE PLANTER WALL II
SCALE: 1" = 1'-0"



04 CUSTOM CONCRETE PLANTER WALL I
SCALE: 1" = 1'-0"

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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ**
QUEENS GARAGE & COMMUNITY SPACE
80-25 126th St,
Kew Gardens, NY 11415

TECHNICAL DRAWINGS

KEY PLAN:

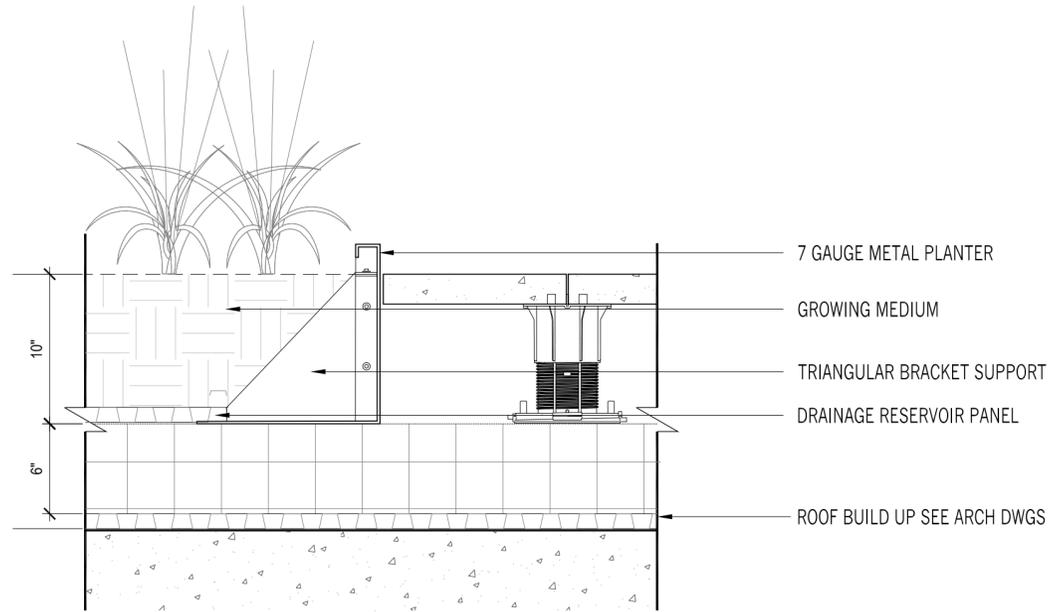


DRAWING TITLE:
TYP LANDSCAPE DETAILS

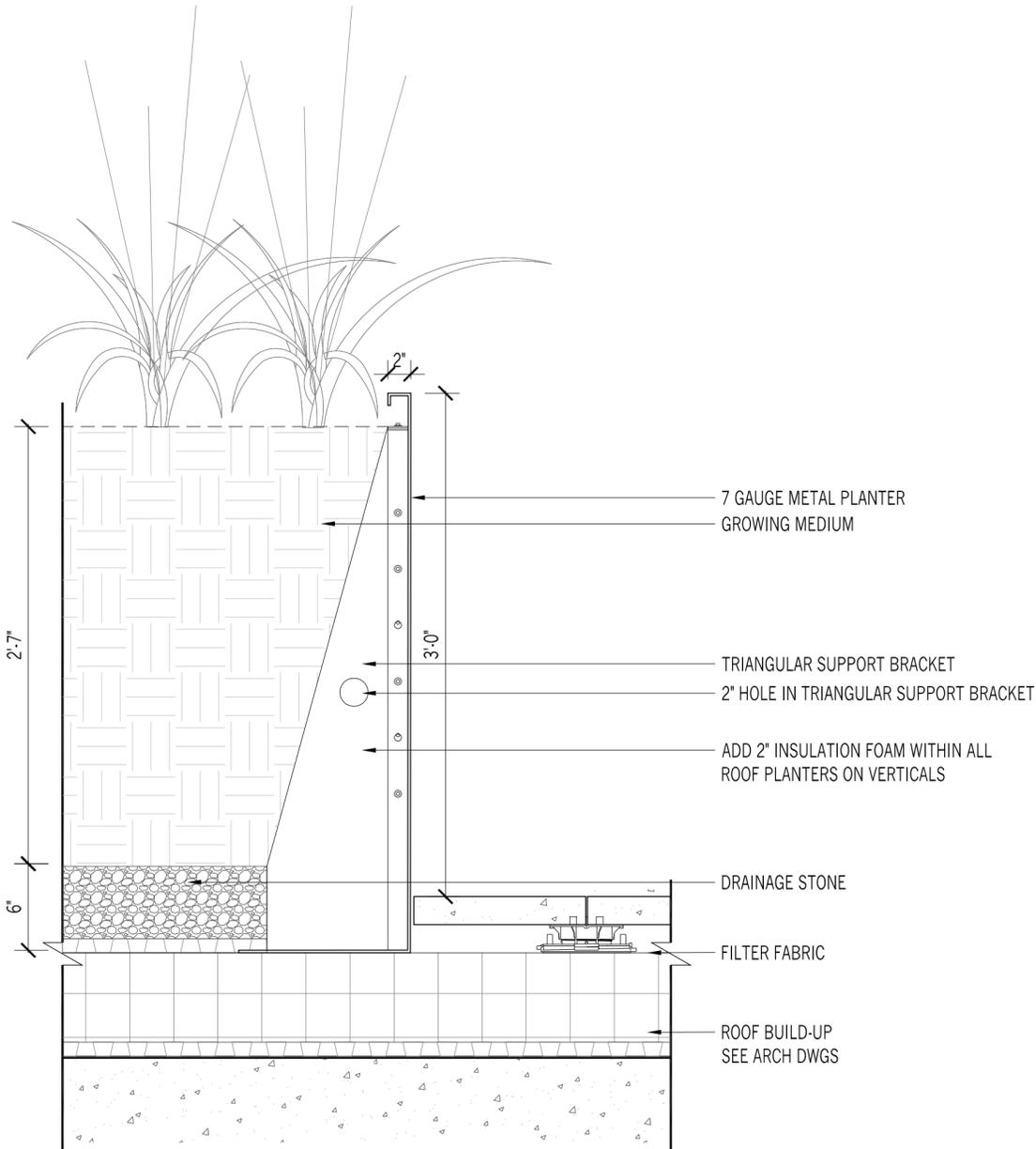
SCALE: VARIES DATE: SEPTEMBER 18, 2020

SEAL:

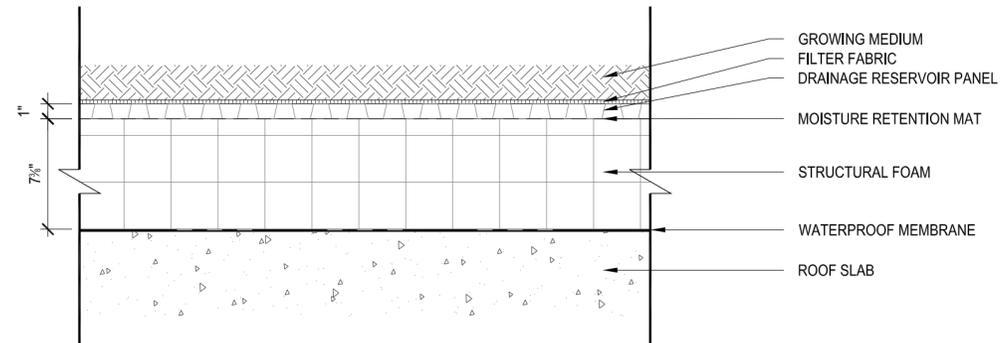
DRAWING NUMBER:
L-104
DRAWING ORDER:



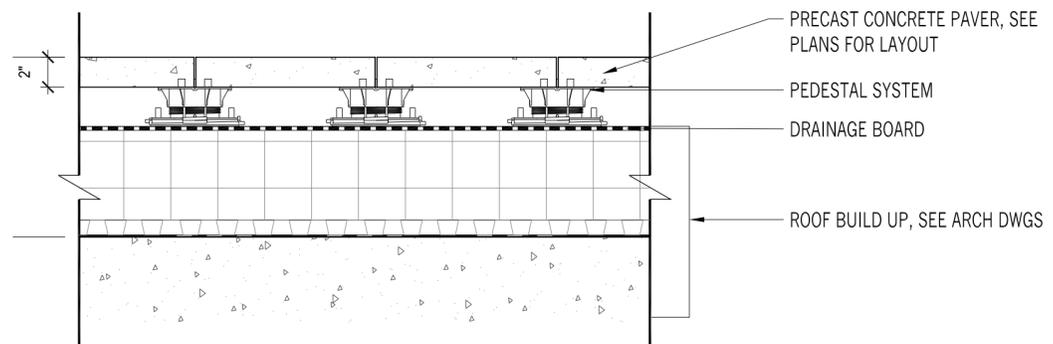
03 RAISED PLANTER TO PAVER EDGE
SCALE: 1 1/2" = 1'-0"



04 STEEL EDGE PLANTER
SCALE: 1 1/2" = 1'-0"



02 TYPICAL GREEN ROOF ASSEMBLY
SCALE: 1 1/2" = 1'-0"



01 CONCRETE PAVERS ON PEDESTALS
SCALE: 1 1/2" = 1'-0"

REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ
QUEENS GARAGE &
COMMUNITY SPACE**
80-25 126th St,
Kew Gardens, NY 11415

**TECHNICAL
DRAWINGS**

KEY PLAN:

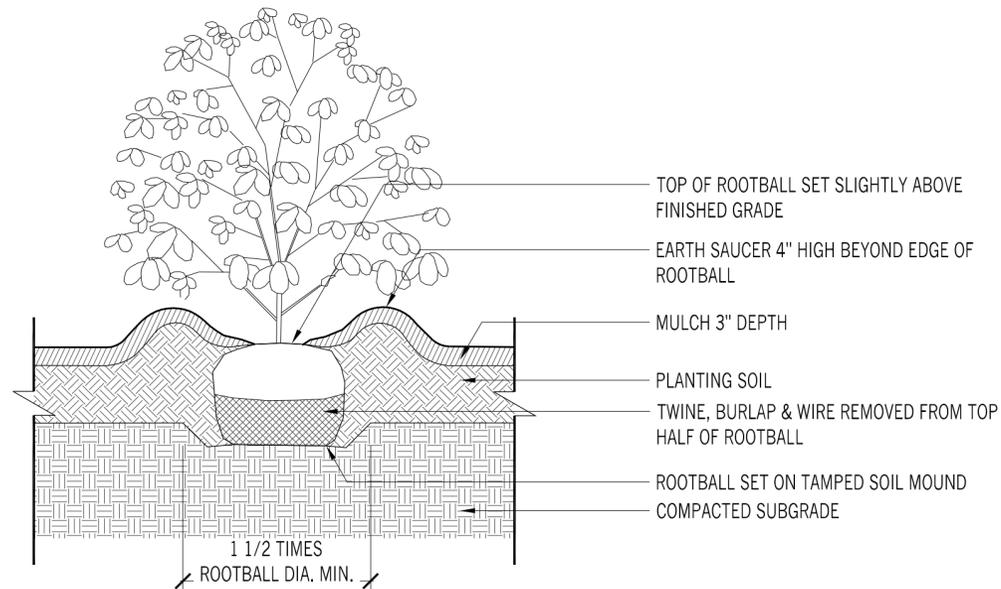
PROJECT NORTH 

DRAWING TITLE:
**TYP LANDSCAPE
DETAILS**

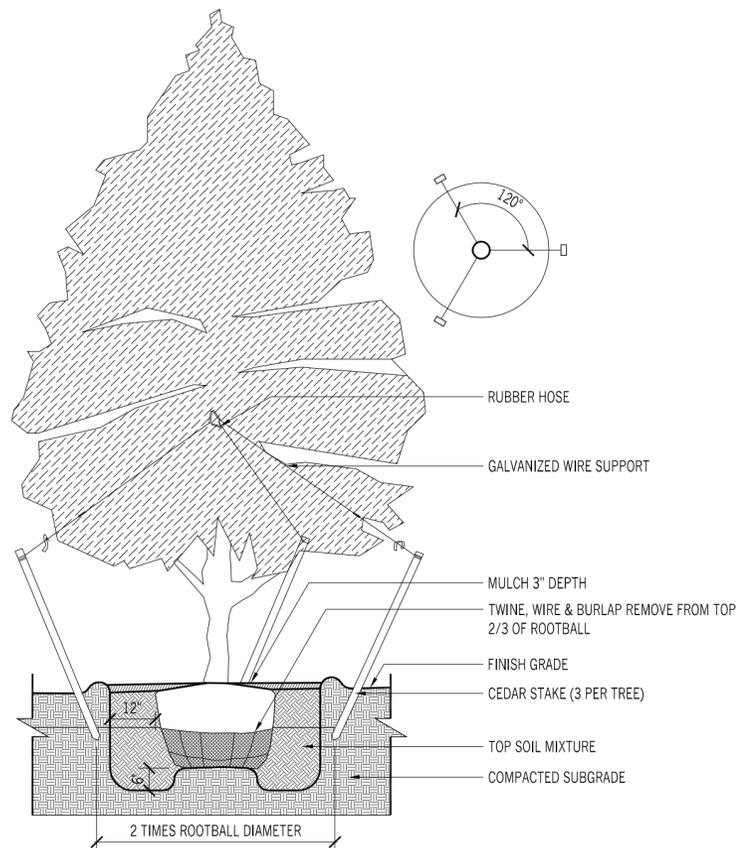
SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

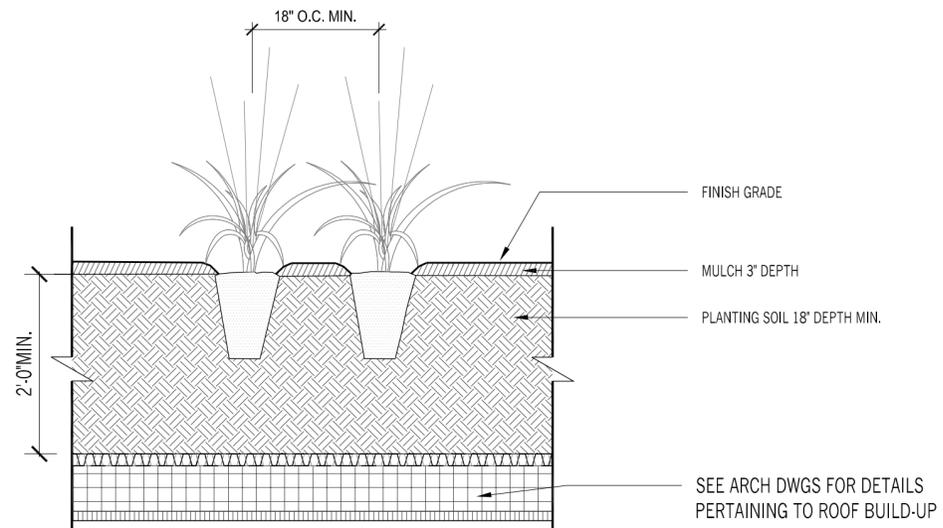
DRAWING NUMBER:
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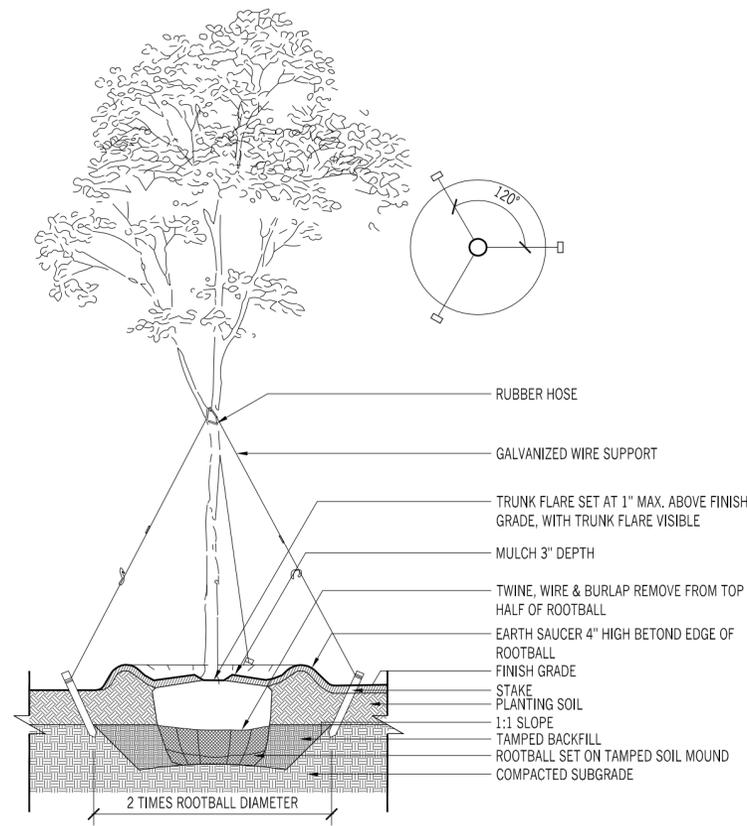
04 SHRUB PLANTING
SCALE: 3/4" = 1'-0"



03 EVERGREEN TREE PLANTING
SCALE: 3/8" = 1'-0"



02 PERENNIAL PLANTING
SCALE: 3/4" = 1'-0"



01 TREE PLANTING AT GRADE
SCALE: 3/8" = 1'-0"

DEMOLITION:

1. ALL ABOVEGROUND AND UNDERGROUND UTILITY APPURTENANCES (INCLUDING FIRE HYDRANTS, WATER METERS, INLET GRATES & FRAMES, MANHOLE COVERS & FRAMES) WITHIN THE PROJECT'S BOUNDARY ARE TO BE REMOVED, UNLESS OTHERWISE NOTED. UTILITY APPURTENANCES MAY BE REUSED AT THE CONTRACTOR'S DISCRETION. ALL UNCLAIMED APPURTENANCES SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT AN APPROPRIATE DISPOSAL FACILITY.

1. ALL ABANDONED UNDERGROUND UTILITIES, LINES, PIPING, STRUCTURES, ETC., WITHIN THE PROJECT BOUNDARY, ARE TO BE REMOVED AND DISPOSED OFF SITE OR CUT, CAPPED AND ABANDONED IN PLACE, UNLESS OTHERWISE NOTED.

2. ALL DEMOLITION SHALL CONFORM TO ANY APPLICABLE FEDERAL, STATE OR LOCAL REGULATIONS. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND WILL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO ABANDONMENT AND/OR DEMOLITION.

3. ALL STRUCTURES (CURBS, SIDEWALKS, RETAINING WALLS, FENCES, ASPHALT, CONCRETE, ETC.) WITHIN THE PROJECT'S BOUNDARY SHALL BE REMOVED AND DISPOSED OFF-SITE AT AN APPROPRIATE FACILITY, UNLESS OTHERWISE NOTED.

4. ALL PERIMETER CONSTRUCTION FENCING IS TO BE REMOVED AT THE CONCLUSION OF THE PROJECT UNLESS OTHERWISE STATED.

5. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN A SUFFICIENT AMOUNT OF TIME IN ADVANCE (MIN. 72 HOURS) PRIOR TO START OF ANY CONSTRUCTION WORK IN THE AFFECTED AREAS.

6. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF BY THE CONTRACTOR.

7. THE CONTRACTOR IS RESPONSIBLE TO ENSURE SHUT OFF, DISCONNECT, AND/OR CAPPING OF ALL UTILITIES TO THE SITE INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, ELECTRIC, CABLE, TELEPHONE, ETC. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL UTILITY SHUT OFFS AND LETTERS, OBTAINING ALL PERMITS TO COMPLETE ALL PHASES OF THE PROJECT AND TO MAINTAIN PERIMETER FENCING EROSION CONTROLS FOR THE DURATION OF THE PROJECT.

GENERAL NOTES:

1. THE CONTRACTOR SHALL PERFORM ALL WORK IN A WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH RECOGNIZED TRADE PRACTICES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN AND ADJACENT TO THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS.

3. ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.

4. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC/PEDESTRIAN CONTROL METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.

5. ALL SIGNAGE TO BE POSTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION-FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS (MUTCD), LATEST EDITION.

6. ALL CURB AND SIDEWALKS SHALL CONFORM TO STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.

7. ALL SIDEWALK RAMPS TO HAVE DETECTABLE WARNING SURFACE INSTALLED IN ACCORDANCE WITH ADA REGULATIONS.

8. ALL DETECTABLE WARNING SURFACES SHALL BE REPLACEABLE WET-SET OR EQUIVALENT. SURFACE MOUNT OR ADHESIVE WARNING STRIPS ARE NOT PERMITTED UNLESS NOTED OTHERWISE.

9. ALL CONNECTIONS WITH EXISTING PAVEMENTS, CURBS, SIDEWALKS, ETC SHALL BE SAW CUT.

10. SEE LANDSCAPE PLANS FOR DETAILS ON HARDSCAPE AND PLANTING MATERIALS.

11. SEE ARCHITECTURAL PLANS FOR BUILDING ELEVATIONS AND FLOOR PLANS

12. ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURB WITH 6" REVEAL, UNLESS OTHERWISE STATED.

13. ALL CURBS SHALL BE DEPRESSED AT CROSSWALKS AND CURB CUTS AND SHALL CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.

14. ALL WALKWAYS TO HAVE A MAXIMUM CROSS SLOPE OF 2% AND RUNNING SLOPE OF 5% UNLESS OTHERWISE NOTED.

15. ALL GRADING WITHIN LANDSCAPED AREAS TO BE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 (3 HORIZONTAL, 1 VERTICAL) SLOPE UNLESS OTHERWISE NOTED.

16. ALL GRADING IN PAVEMENT AREAS SHALL BE GREATER THAN 1% UNLESS OTHERWISE NOTED.

17. POSITIVE DRAINAGE TO BE MAINTAINED FROM ALL BUILDINGS IN ACCORDANCE WITH APPLICABLE REGULATIONS AND BUILDING CODE.

18. FLOOR ELEVATIONS, ADJACENT GRADE, DOORWAY LOCATIONS AND ELEVATIONS SHALL BE CONFIRMED WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION BY THE CONTRACTOR.

19. ALL EXCAVATED SOIL TO BE DISPOSED SHALL BE PROPERLY CLASSIFIED, HANDLED, AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

20. ALL IMPORTED SOILS MUST BE CERTIFIED CLEAN FILL IN ACCORDANCE WITH THE SPECIFICATIONS. IMPORTED SOILS SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL SUBSURFACE INVESTIGATION REPORT.

21. ALL GRASSED AREAS TO HAVE A MINIMUM OF 4" CLEAN TOP SOIL, WHEN SOD IS BEING INSTALLED, OR 6" CLEAN TOP SOIL FOR SEEDING APPLICATIONS.

22. CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.

23. THE CONTRACTOR SHALL DEVELOP A SITE SPECIFIC NOISE MITIGATION PLAN FOR REVIEW AND APPROVAL BY THE OWNER PRIOR TO CONSTRUCTION.

24. THE CONTRACTOR SHALL COORDINATE ANY WORK ADJACENT TO THE VAN WYCK EXPRESSWAY WITH NYS DOT.

25. THE CONTRACTOR SHALL PREPARE AND RECEIVE MPT PLAN APPROVAL FROM NYCDOT-OCMC PRIOR TO CONSTRUCTION.

UTILITY NOTES:

1. ELECTRICAL, TELEPHONE, CATV AND ALL OTHER WIRE-SERVED UTILITY EXTENSIONS AND SERVICES SHALL BE INSTALLED UNDERGROUND IN CONFORMANCE WITH THE STANDARDS ESTABLISHED BY THE SERVICING UTILITY COMPANY.

2. THE CONTRACTOR SHALL PROVIDE RECORD "AS BUILT" PLANS OF ALL CONDUITS AND STRUCTURES TO THE APPLICABLE UTILITY COMPANIES, PROJECT ENGINEER AND THE PROJECT OWNER.

3. THE CONTRACTOR SHALL MAINTAIN FIELD NOTES, PHOTOGRAPHS, AND REDLINED PLANS CLEARLY RECORDING THE LOCATION OF ALL UNDERGROUND INSTALLATIONS. THESE RECORDS SHALL BE PROVIDED TO THE PROJECT ENGINEER UPON REQUEST.

4. CONTRACTOR TO PERFORM TEST PITS TO VERIFY EXISTING UTILITY DEPTHS, SIZES AND LOCATIONS PRIOR TO CONNECTING PROPOSED SEWER AND WATER MAINS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS SO THAT DESIGN MODIFICATIONS CAN BE MADE IF NECESSARY.

5. ALL WATER, STORM, AND SANITARY PIPING SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH APPLICABLE NYCDOT BUREAU OF WATER AND SEWER OPERATIONS REQUIREMENTS.

6. CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE OPENINGS IN EXISTING SEWERS TO RECEIVE LATERALS. JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO THE PIPE.

7. ALL WATER MAINS, WATER SERVICES AND APPURTENANCES SHALL BE CONSTRUCTED, TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE NYCDOT REQUIREMENTS.

8. ALL NEW WATER MAINS SHALL BE LAID WITH A MINIMUM OF 4 FEET OF COVER OVER THE PIPE TO PREVENT FREEZING.

9. SANITARY SEWER MAINS SHALL BE PVC SDR-35

10. RCP SHALL BE CLASS 5 WALL, BELL AND SPIGOT TYPE WITH O-RING GASKETS.

11. HDPE PIPE SHALL BE CORRUGATED DUAL WALL, AND WRAPPED WITH 12" OF STONE AND FILTER FABRIC

12. A MARKER STAKE PROTRUDING A MINIMUM OF FOUR FEET ABOVE THE GROUND SURFACE SHALL BE PLACED TO INDICATE THE END OF THE CONSTRUCTION STUBS FOR BUILDING CONNECTIONS, OR STUBS SHALL BE TURNED AND EXTENDED ABOVE GRADE BY FOUR FEET AND CAPPED.

13. ALL CONNECTIONS SHALL BE COORDINATED BETWEEN ARCHITECTURAL, PLUMBING, AND ELECTRICAL PLANS.

14. EXISTING FIRE HYDRANTS SHALL BE REVIEWED BY NYCDOT AND FDNY AND NEW HYDRANTS SHALL BE INSTALLED AS REQUIRED.

15. EXISTING STREET LIGHTING AND/OR TRAFFIC SIGNAL EQUIPMENT SHALL BE RELOCATED, MAINTAINED, OR REPLACED BASED ON NYCDOT REQUIREMENTS.



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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ
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TECHNICAL DRAWINGS

KEY PLAN:

PROJECT NORTH

DRAWING TITLE:
CIVIL GENERAL NOTES

SCALE: DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:
C-001

DRAWING ORDER: 23 of 205

