

REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ  
QUEENS GARAGE &  
COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL  
DRAWINGS**

KEY PLAN:



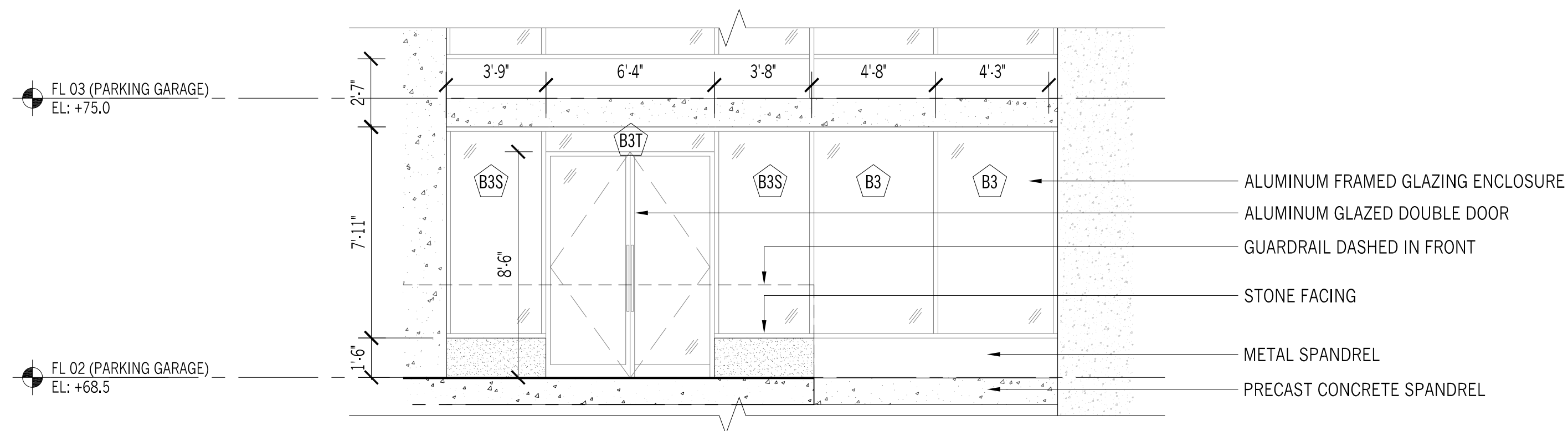
DRAWING TITLE:  
**ENLARGED  
ELEVATIONS**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

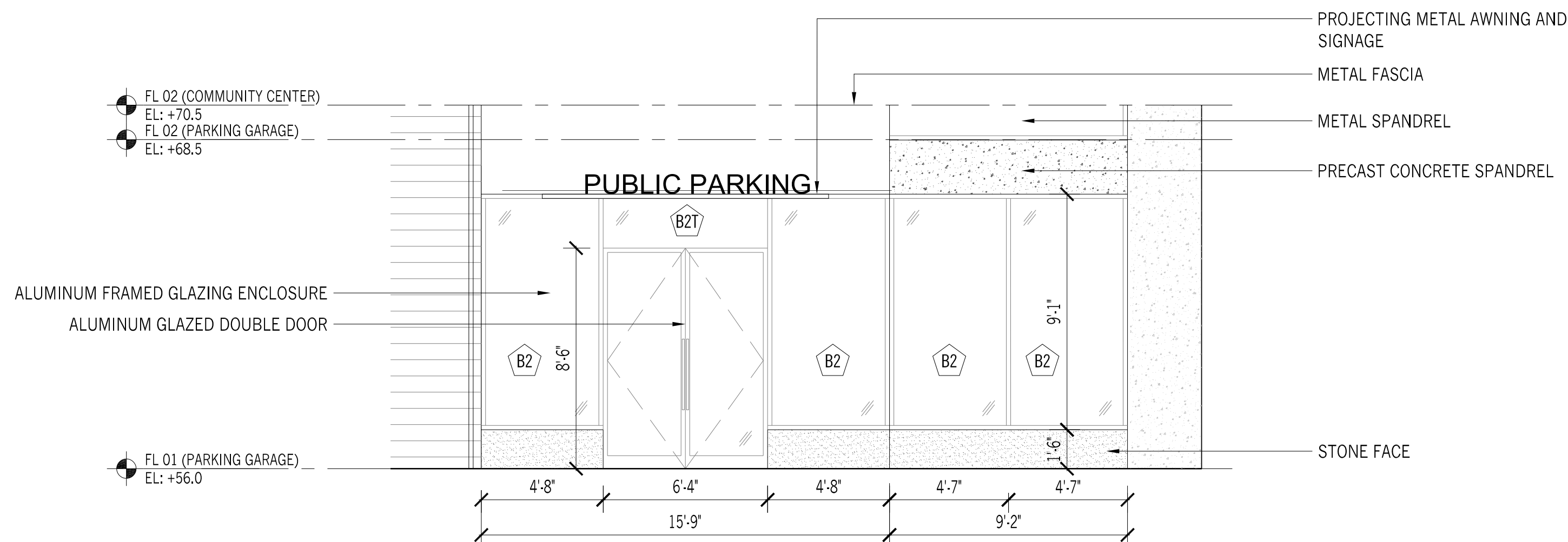
SEAL:

DRAWING NUMBER:  
**A-211**

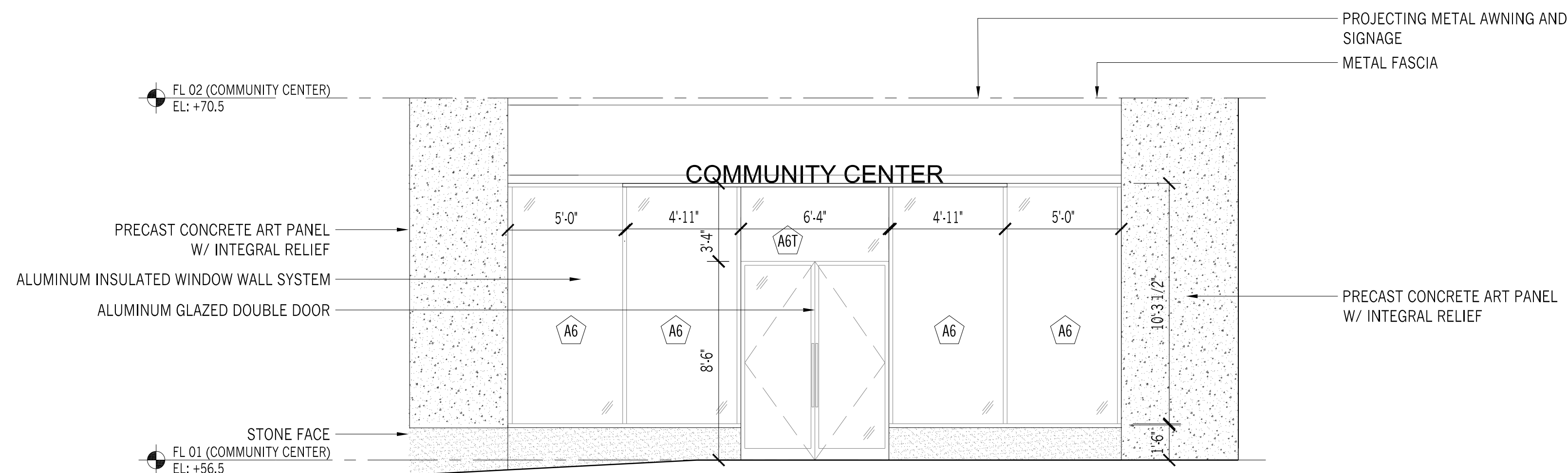
DRAWING ORDER: 57 of 205



**03** ENLARGED ELEVATION - FL 02/FL 04 PARKING GARAGE ENTRANCE  
1/4" = 1'-0"



**02** ENLARGED ELEVATION - PARKING GARAGE ENTRANCE ON 126TH ST  
1/4" = 1'-0"




**01** ENLARGED ELEVATION - WEST COMMUNITY CENTER ENTRANCE ON 126TH ST  
1/4" = 1'-0"

REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ  
QUEENS GARAGE &  
COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL  
DRAWINGS**

KEY PLAN:  
  
PROJECT NORTH 

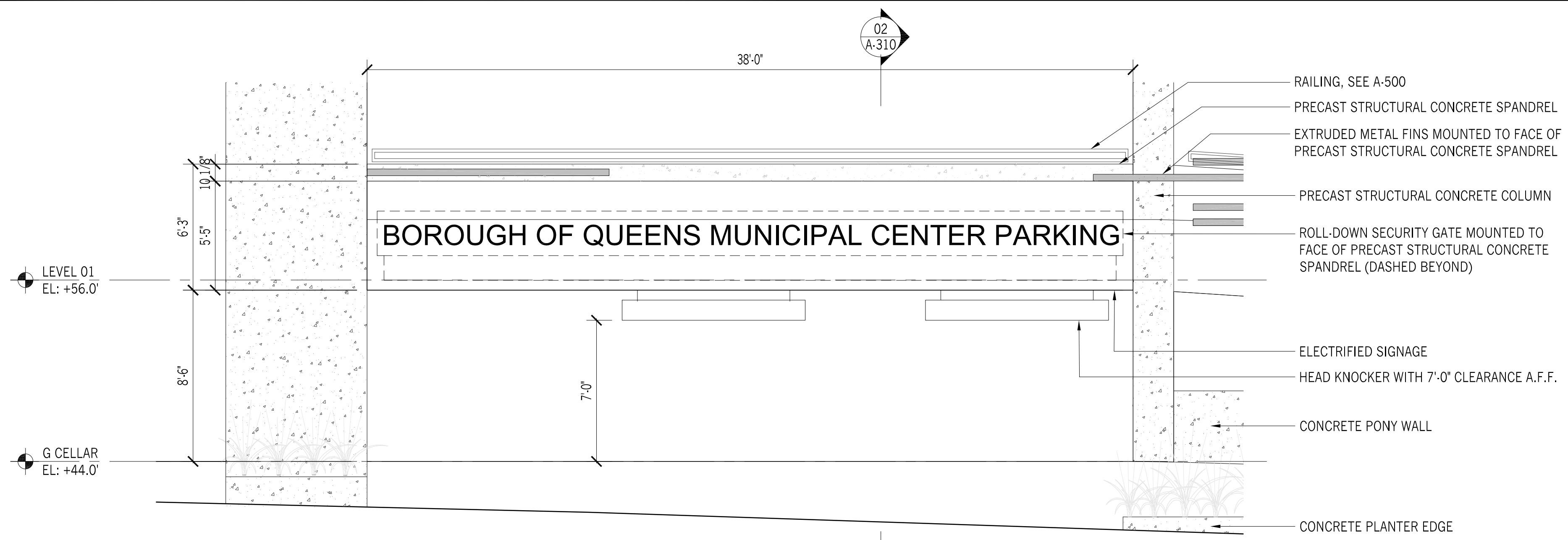
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**ENLARGED  
ELEVATIONS**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

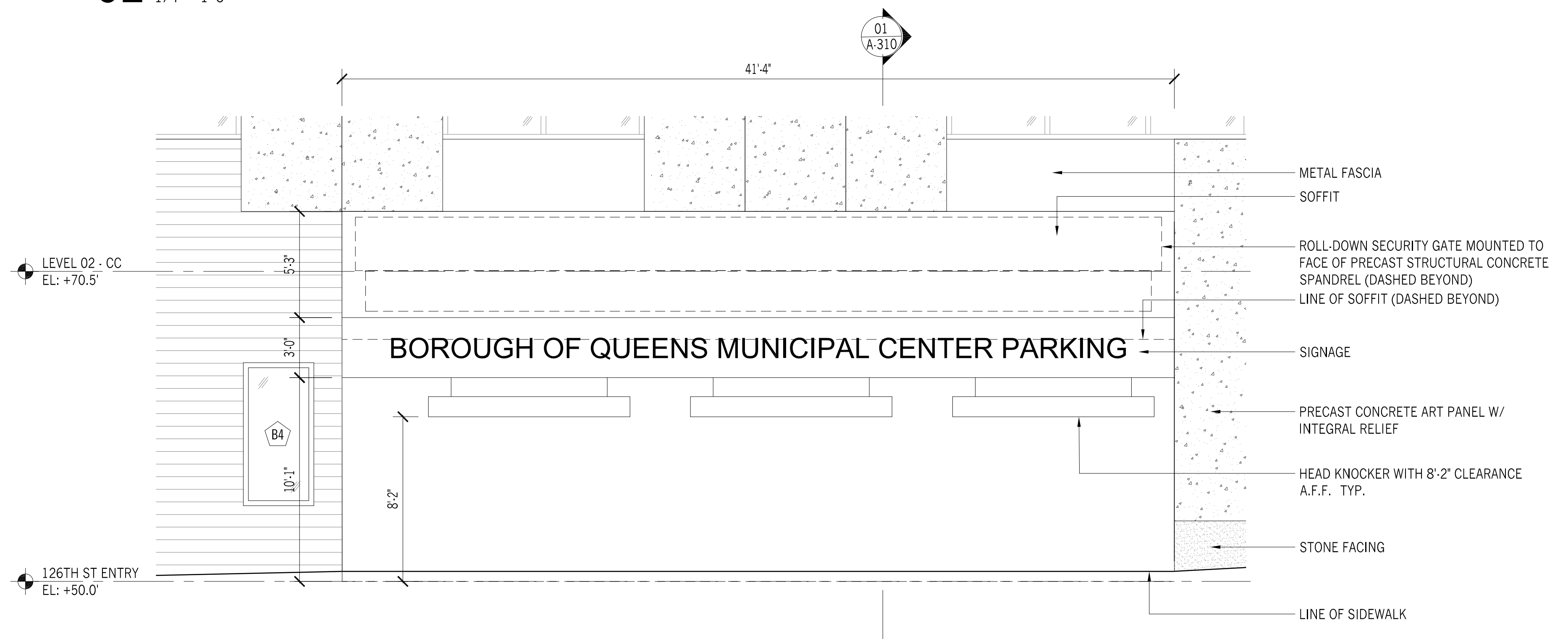
SEAL:

DRAWING NUMBER:  
**A-212**

DRAWING ORDER: 58 of 205



**02** ENLARGED ELEVATION - 132ND ST PARKING GARAGE ENTRANCE  
1/4" = 1'-0"



**01** ENLARGED ELEVATION - 126TH ST PARKING GARAGE ENTRANCE  
1/4" = 1'-0"

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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ  
QUEENS GARAGE &  
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80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL  
DRAWINGS**

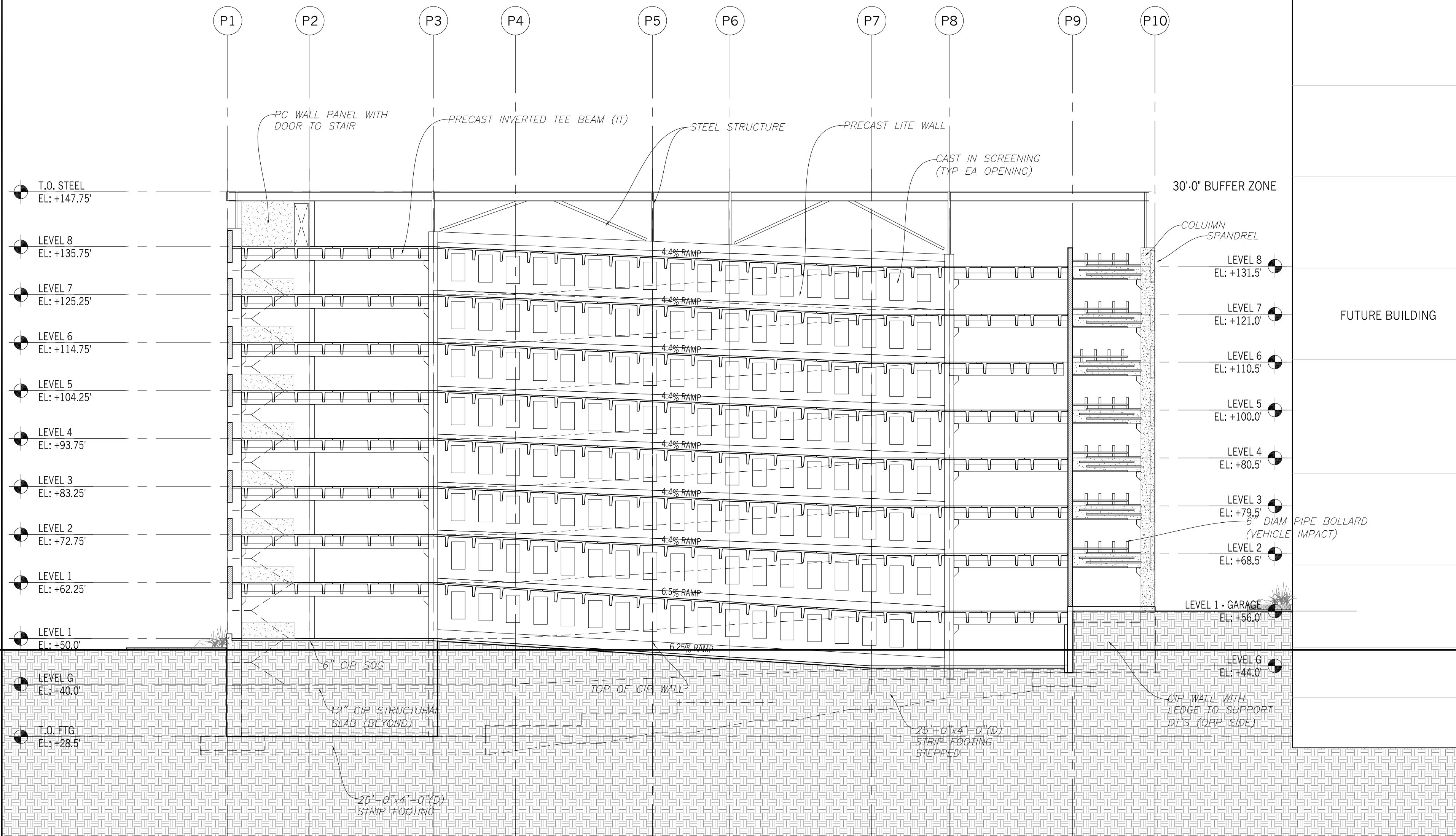
KEY PLAN:  


DRAWING TITLE:  
**BUILDING  
SECTION A.A**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**A-300**  
DRAWING ORDER: 59 of 205



**01** BUILDING SECTION - PARKING GARAGE  
1/16" = 1'-0"

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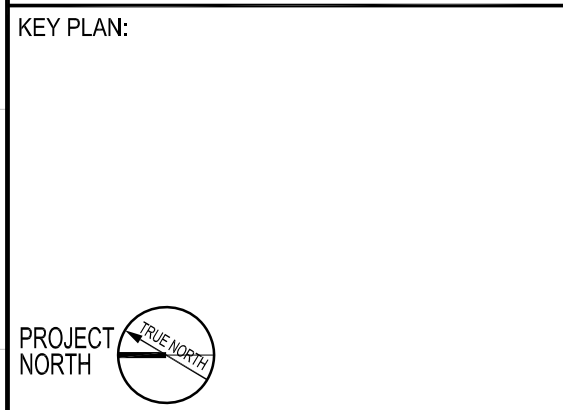
JAROS, BAUM & BOLLES / LIGHTBOX STUDIOS  
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212.530.9300

JFK&M ENGINEERS, LLP  
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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ  
**QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

KEY PLAN:  


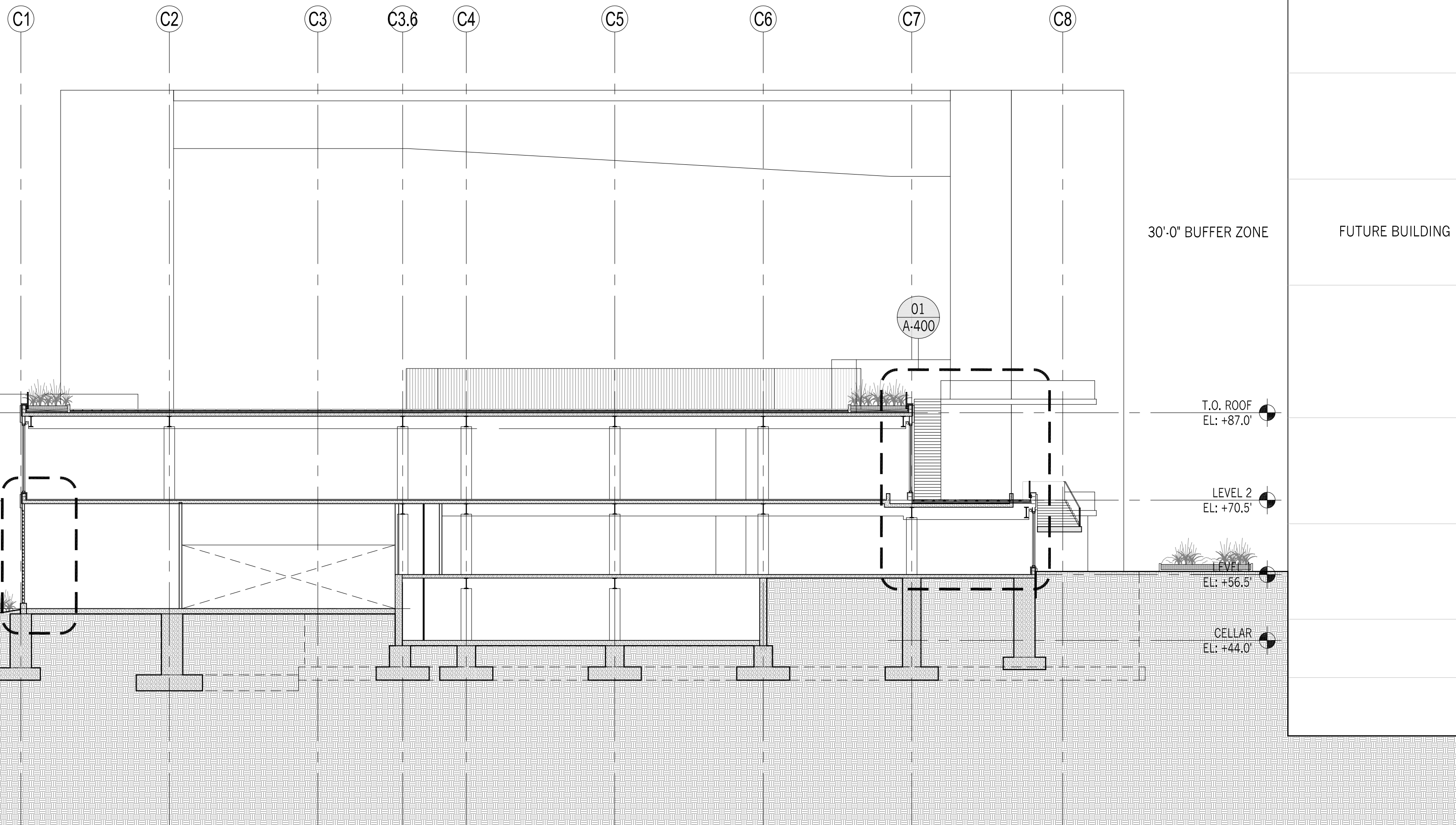
DRAWING TITLE:  
**BUILDING SECTION B.B**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**A-301**

DRAWING ORDER: 60 of 205



**01** BUILDING SECTION - COMMUNITY SPACE  
1/16" = 1'-0"

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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ**  
**QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

KEY PLAN:



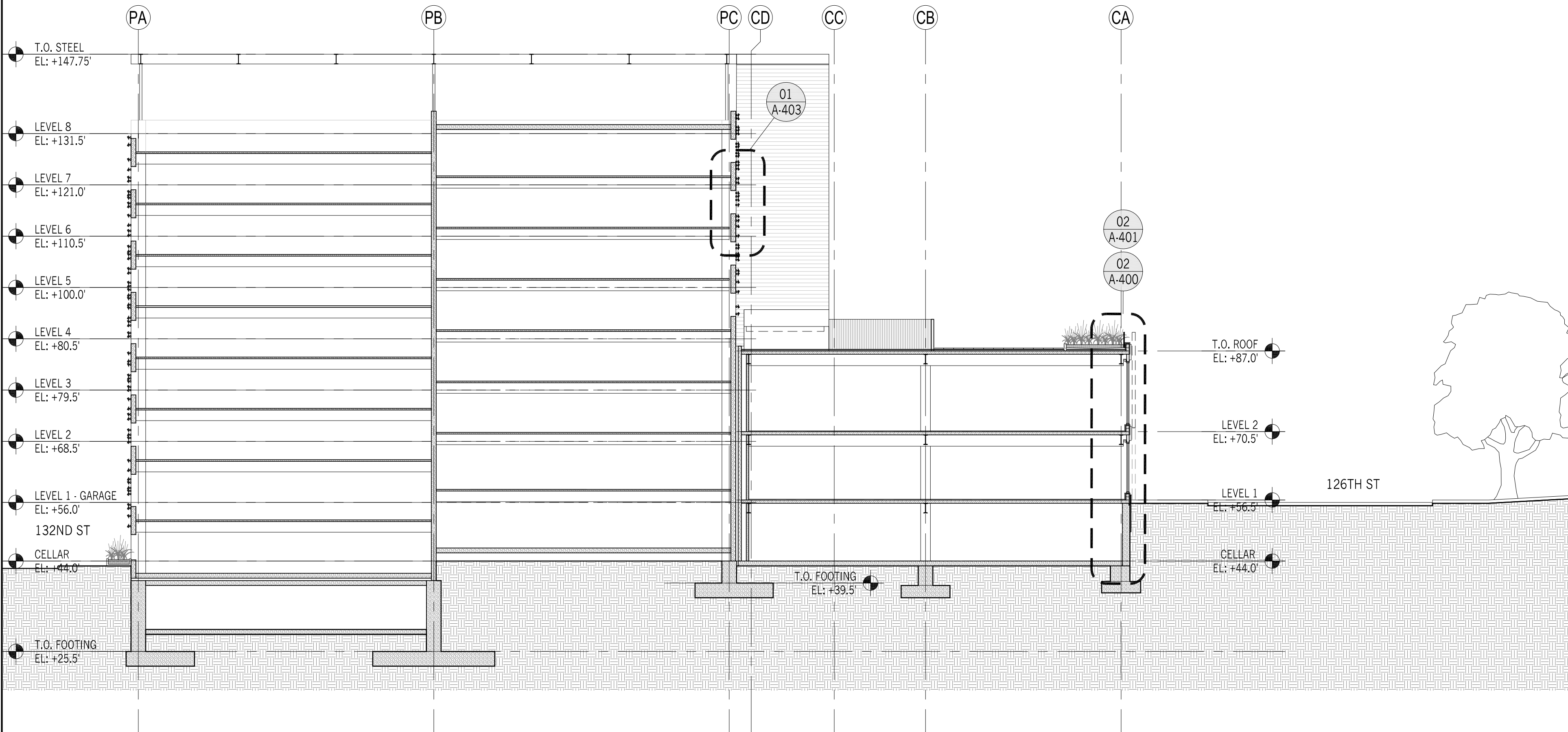
DRAWING TITLE:  
**BUILDING SECTION C.C**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**A-302**

DRAWING ORDER: 61 of 205



**01** BUILDING SECTION - PARKING GARAGE AND COMMUNITY CENTER  
1/16" = 1'-0"

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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ**  
**QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

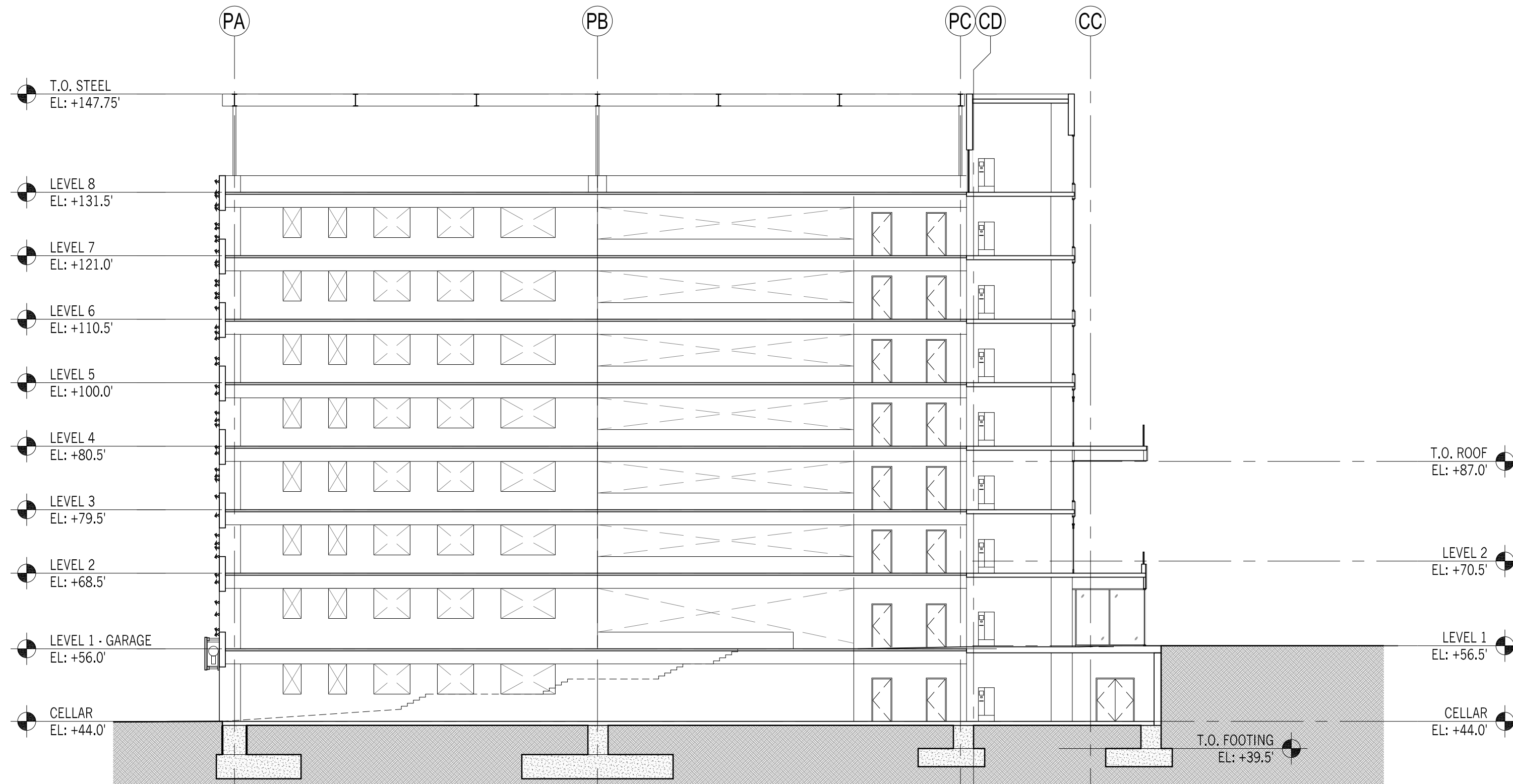
KEY PLAN:  
  
PROJECT NORTH 

DRAWING TITLE:  
**BUILDING SECTION D.D**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**A-303**  
DRAWING ORDER: 62 of 205



**01** BUILDING SECTION - PARKING GARAGE  
1/16" = 1'-0"

REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ  
QUEENS GARAGE &  
COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL  
DRAWINGS**

KEY PLAN:



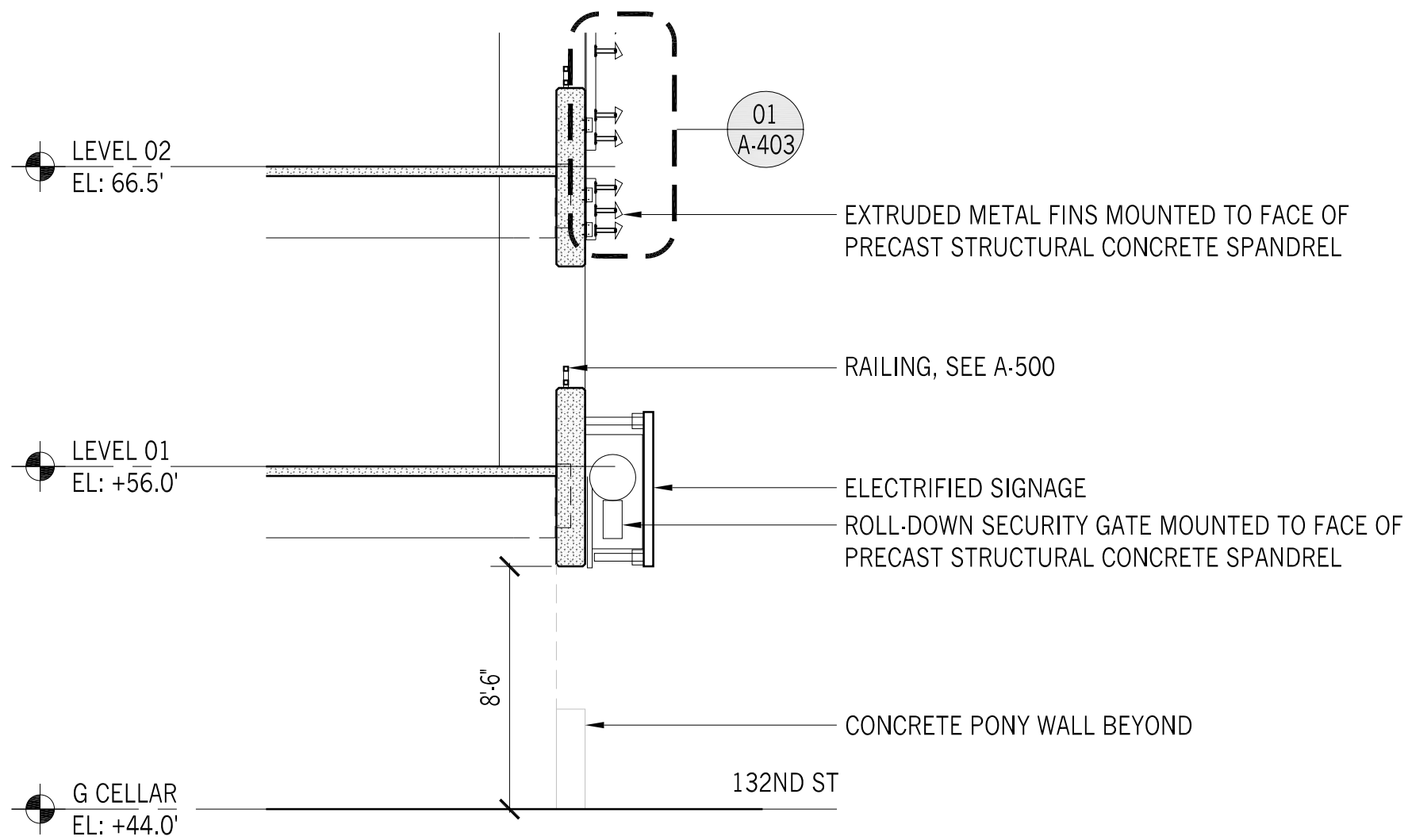
DRAWING TITLE:  
**ENLARGED  
SECTION -  
GARAGE  
ENTRANCES**

SCALE: 3/16" = 1'-0" DATE: SEPTEMBER 18, 2020

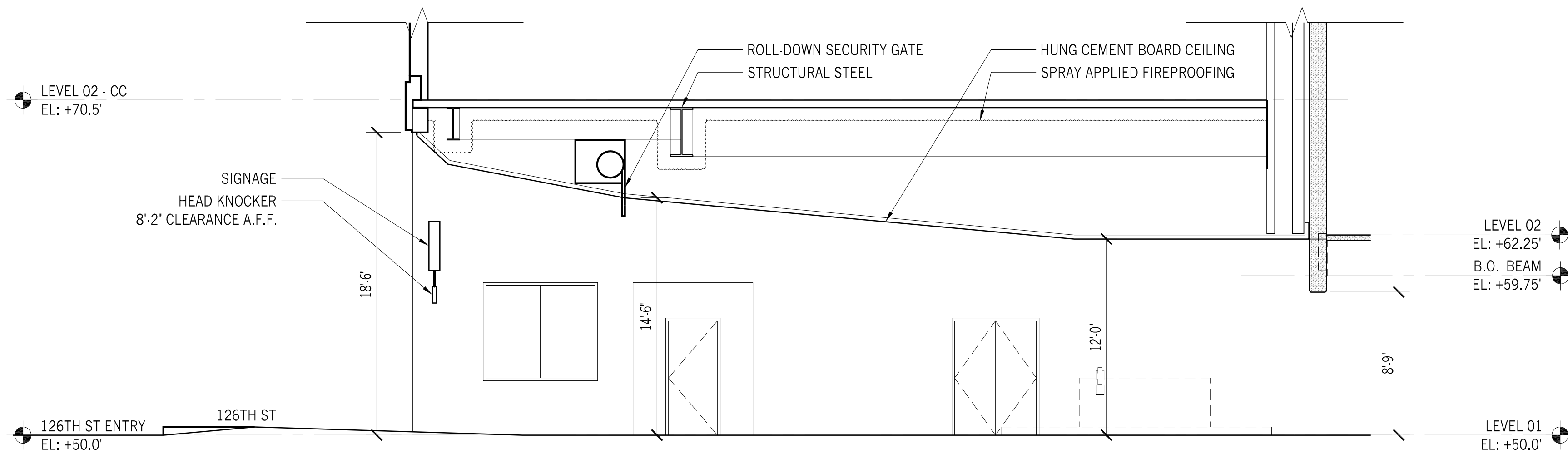
SEAL:

DRAWING NUMBER:  
**A-310**

DRAWING ORDER: 63 of 205



**02** ENLARGED SECTION - 132ND GARAGE ENTRY  
3/16" = 1'-0"



**01** ENLARGED SECTION - 126TH GARAGE ENTRY  
3/16" = 1'-0"

REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ  
QUEENS GARAGE &  
COMMUNITY SPACE**  
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Kew Gardens, NY 11415

**TECHNICAL  
DRAWINGS**

KEY PLAN:



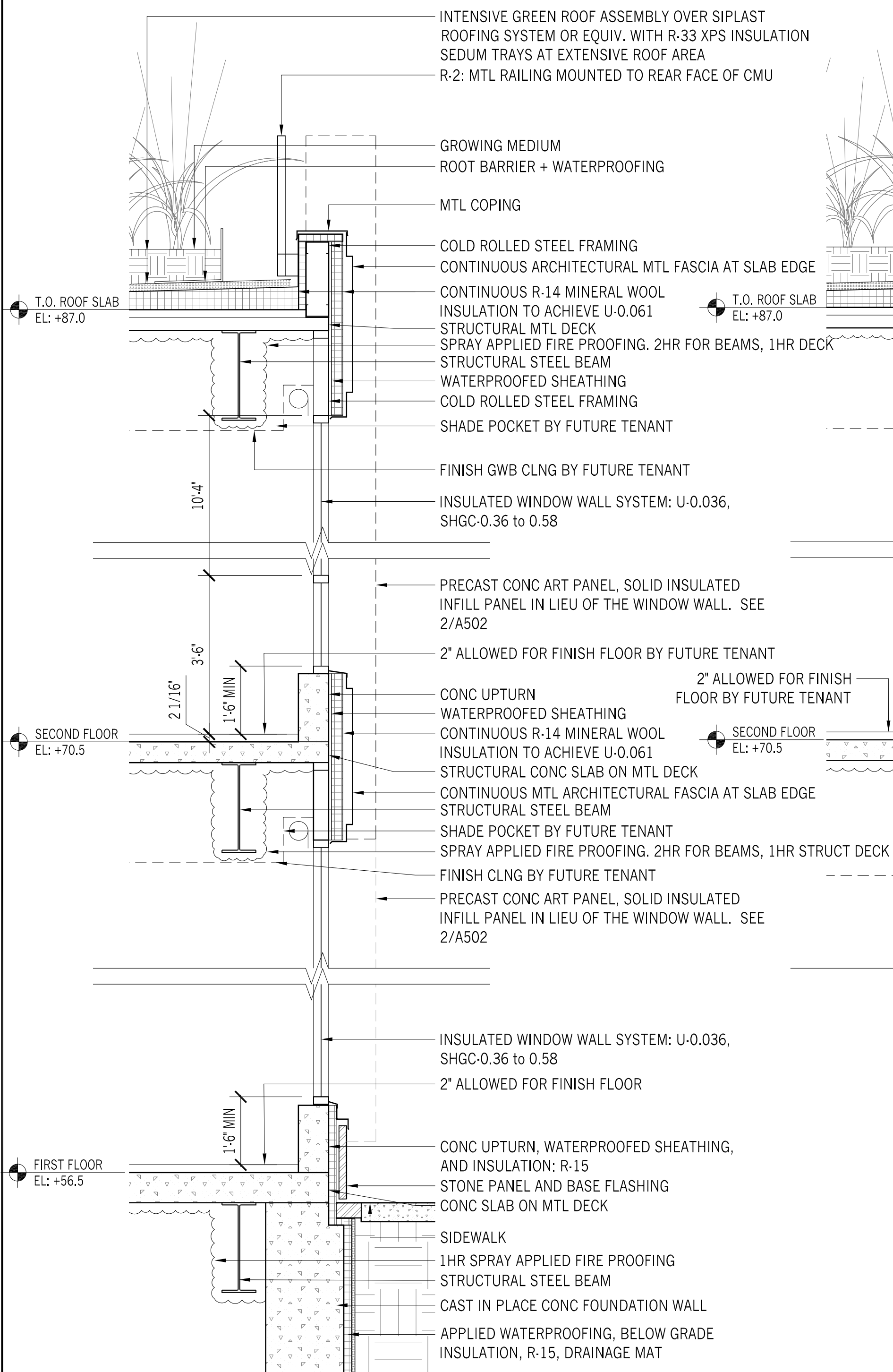
DRAWING TITLE:  
**EXTERIOR WALL  
SECTIONS**

SCALE: 1/2" = 1'-0" DATE: SEPTEMBER 18, 2020

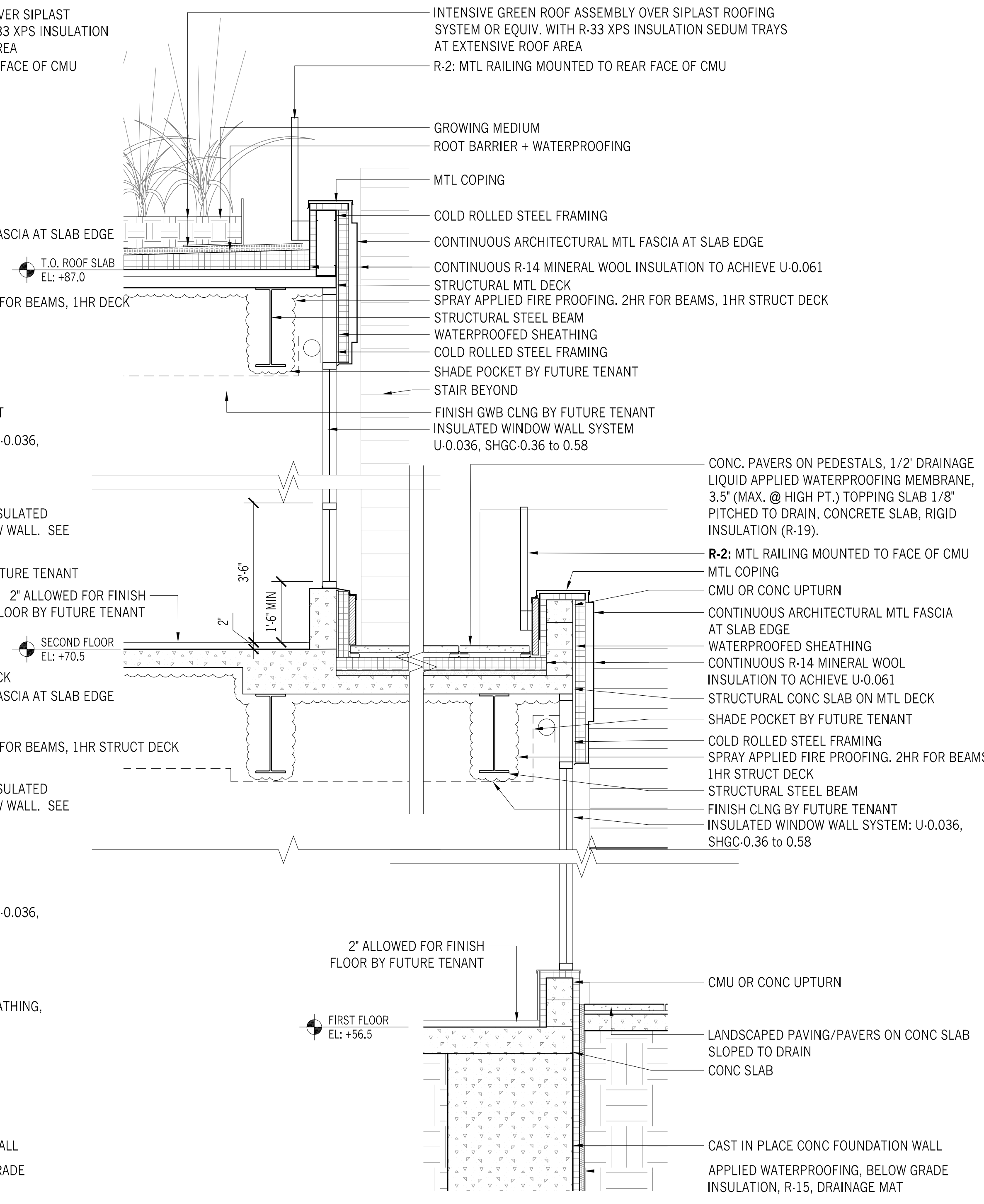
SEAL:

DRAWING NUMBER:  
**A-400**

DRAWING ORDER: 64 of 205



**02** ENLARGED SECTION: COMMUNITY CENTER AT SIDEWALK  
1/2" = 1'-0"



**01** ENLARGED SECTION: COMMUNITY CENTER AT PLAZA  
1/2" = 1'-0"



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QUEENS GARAGE &  
COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL  
DRAWINGS**

KEY PLAN:

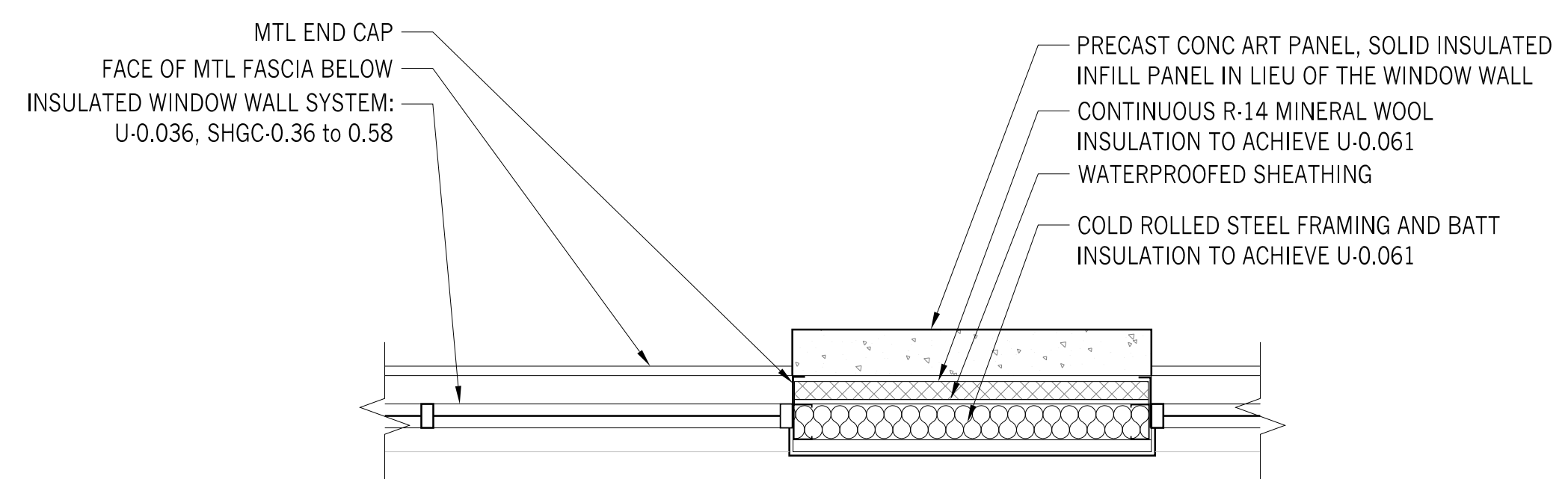


DRAWING TITLE:  
**EXTERIOR WALL  
SECTIONS**

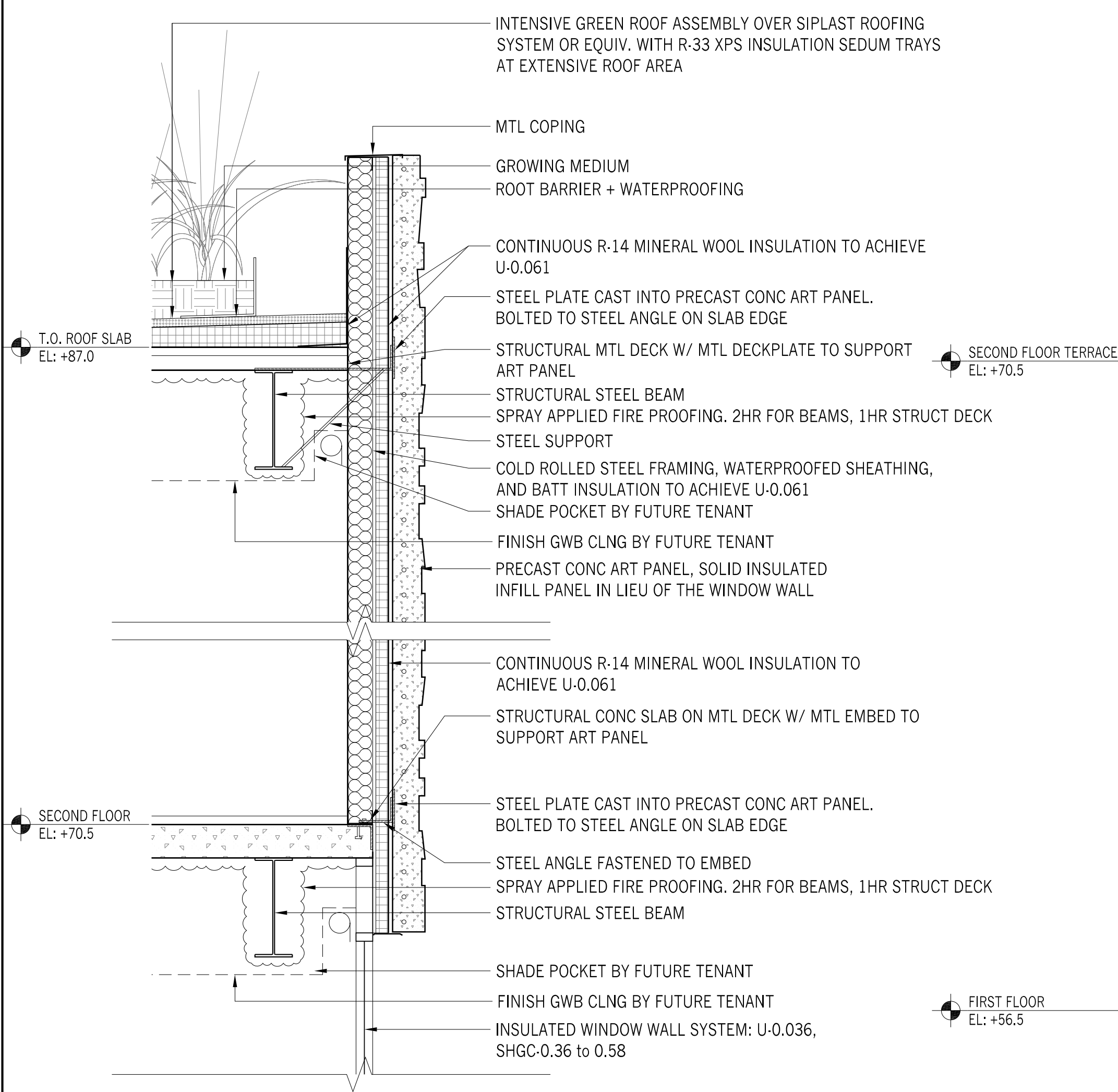
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SEAL:

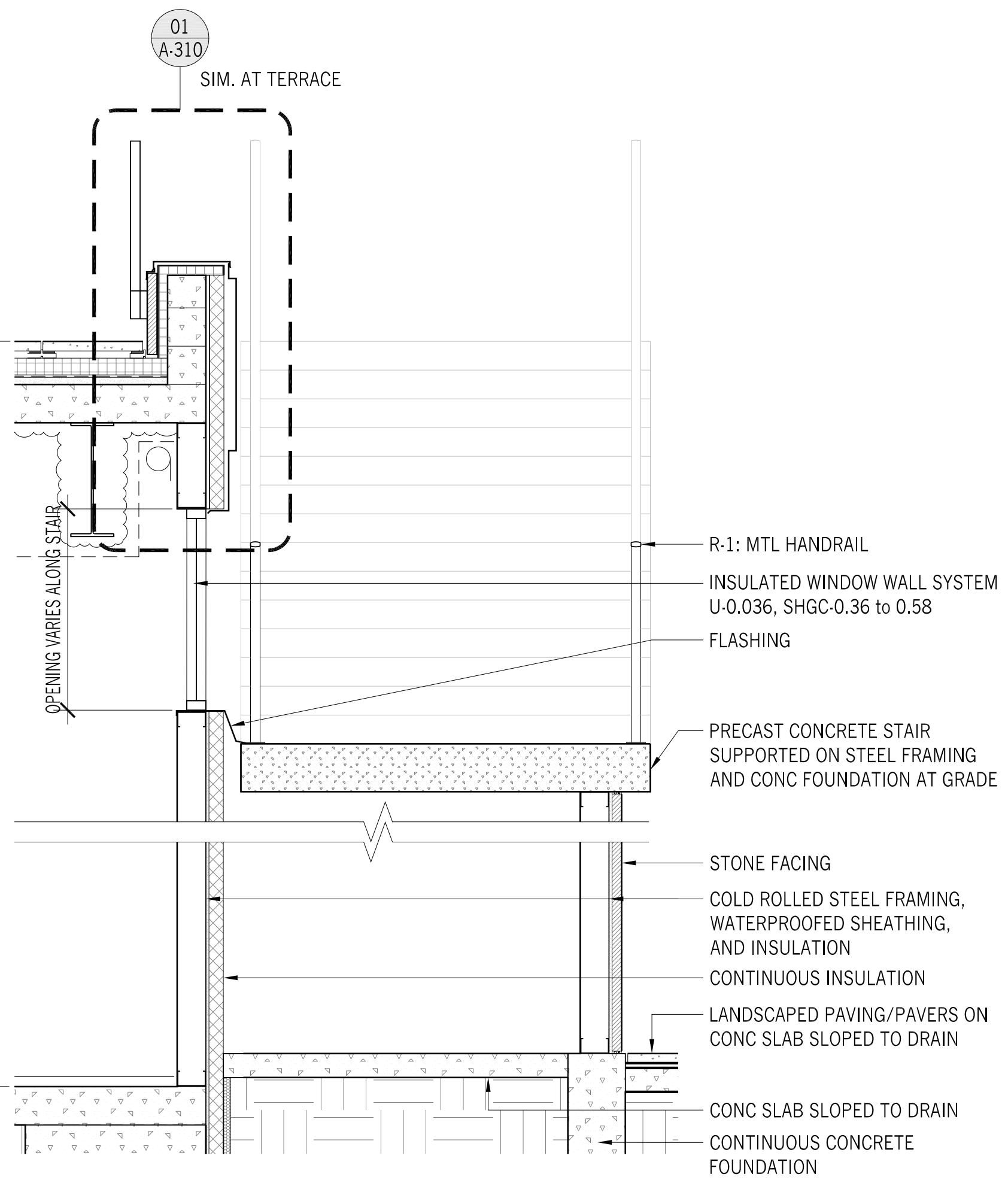
DRAWING NUMBER:  
**A-401**  
DRAWING ORDER: 65 of 205



**03** ENLARGED PLAN DETAIL: PRECAST CONC ART PANEL  
1/2" = 1'-0"



**02** ENLARGED SECTION: PRECAST CONC ART PANEL  
1/2" = 1'-0"



**01** ENLARGED SECTION: PRECAST CONC STAIR  
1/2" = 1'-0"

REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ  
QUEENS GARAGE &  
COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL  
DRAWINGS**

KEY PLAN:



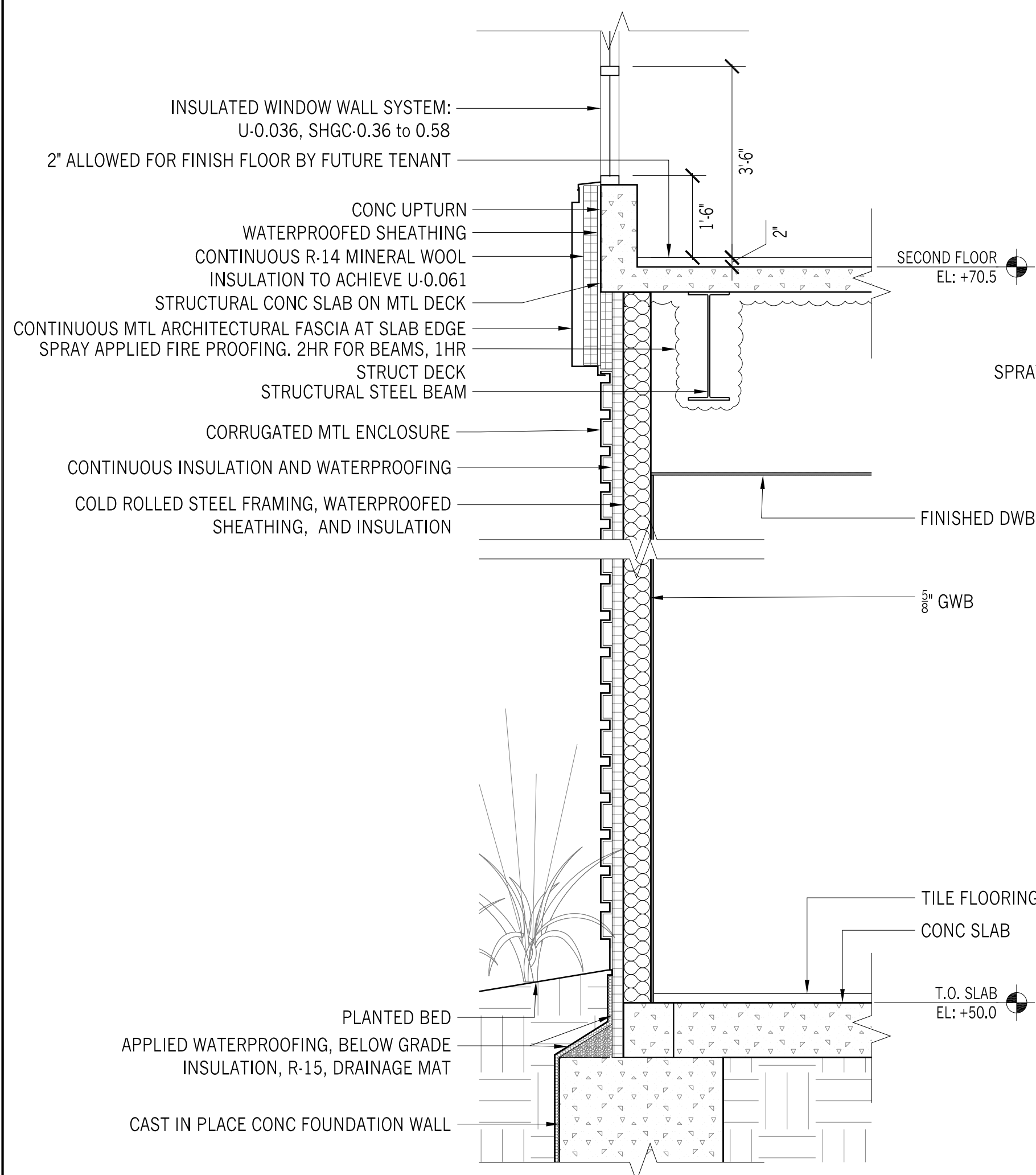
DRAWING TITLE:  
**EXTERIOR WALL  
SECTIONS**

SCALE: 1/2" = 1'-0" DATE: SEPTEMBER 18, 2020

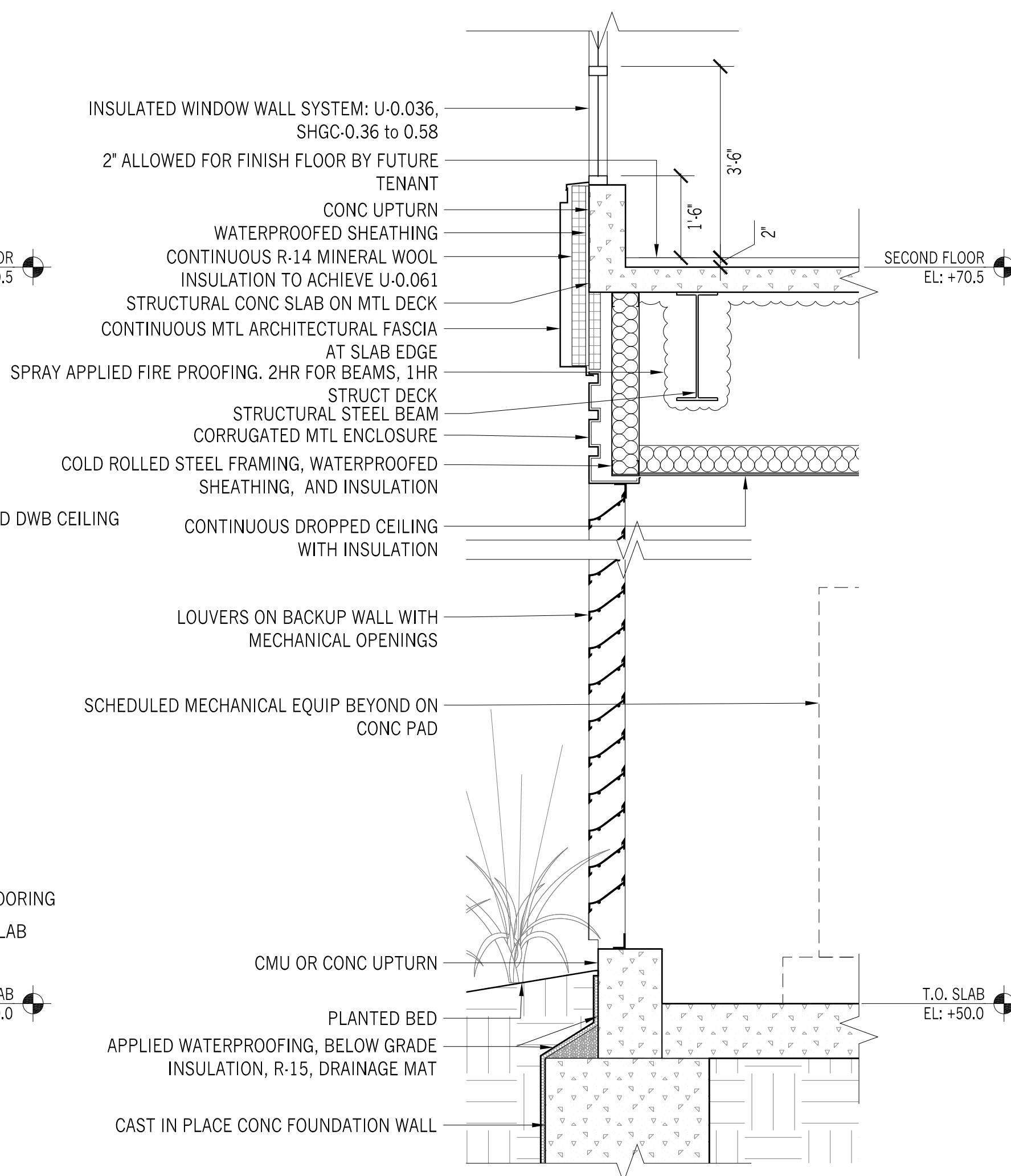
SEAL:

DRAWING NUMBER:  
**A-402**

DRAWING ORDER: 66 of 205



**02** ENLARGED SECTION: PARKING OPERATIONS  
1/2" = 1'-0"



**01** ENLARGED SECTION: MECHANICAL LOUVER  
1/2" = 1'-0"

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MARVEL ARCHITECTS  
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 212.616.0420

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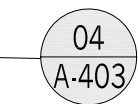
JFK&M ENGINEERS, LLP  
 134 West 37th Street New York, NY 10018  
 212.792.8700


REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ**  
**QUEENS GARAGE & COMMUNITY SPACE**  
 80-25 126th St,  
 Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

KEY PLAN:



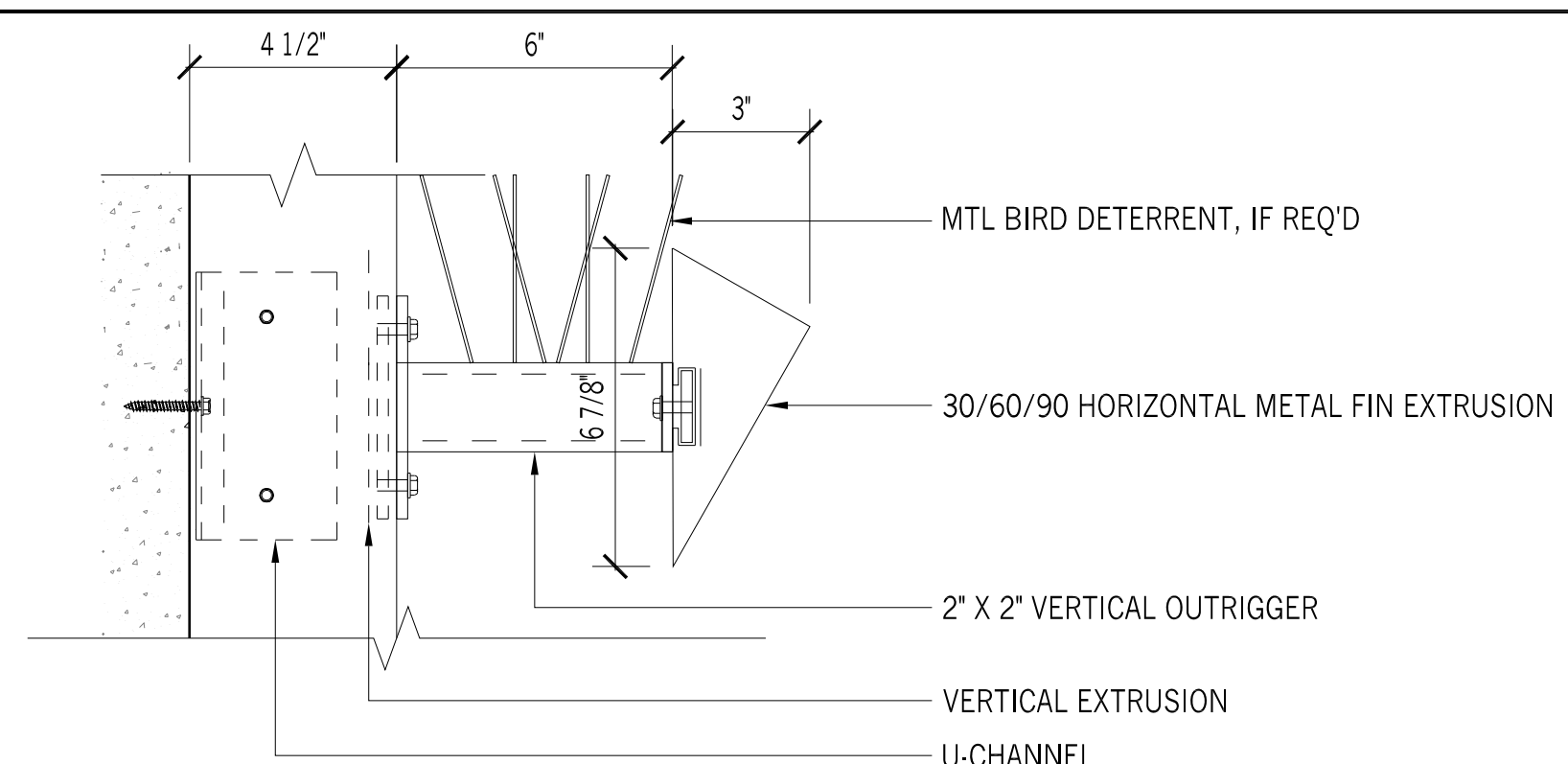
PROJECT NORTH 

DRAWING TITLE:  
**EXTERIOR WALL SECTIONS**

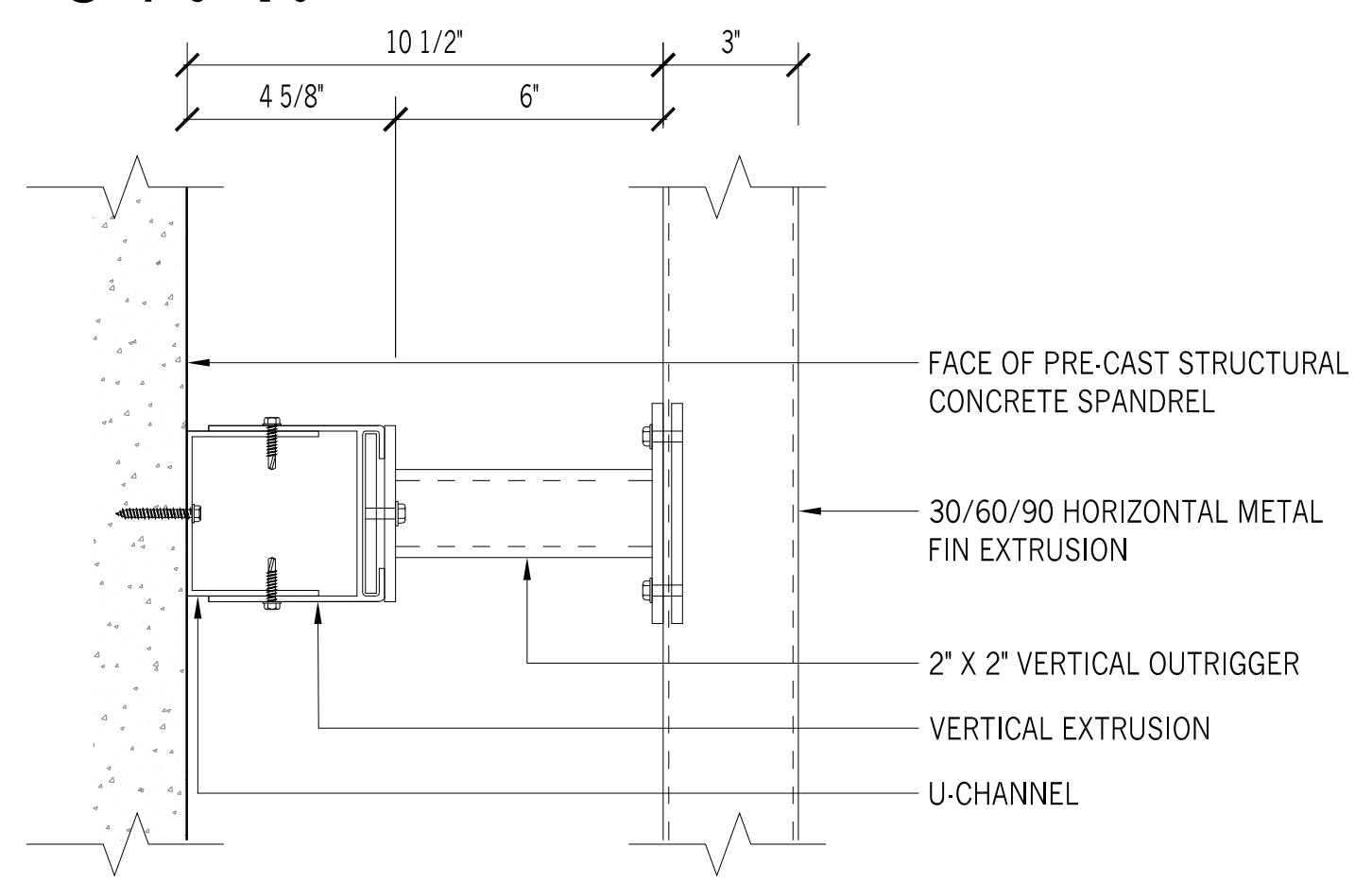
SCALE: VARIES DATE: SEPTEMBER 18, 2020

SEAL:

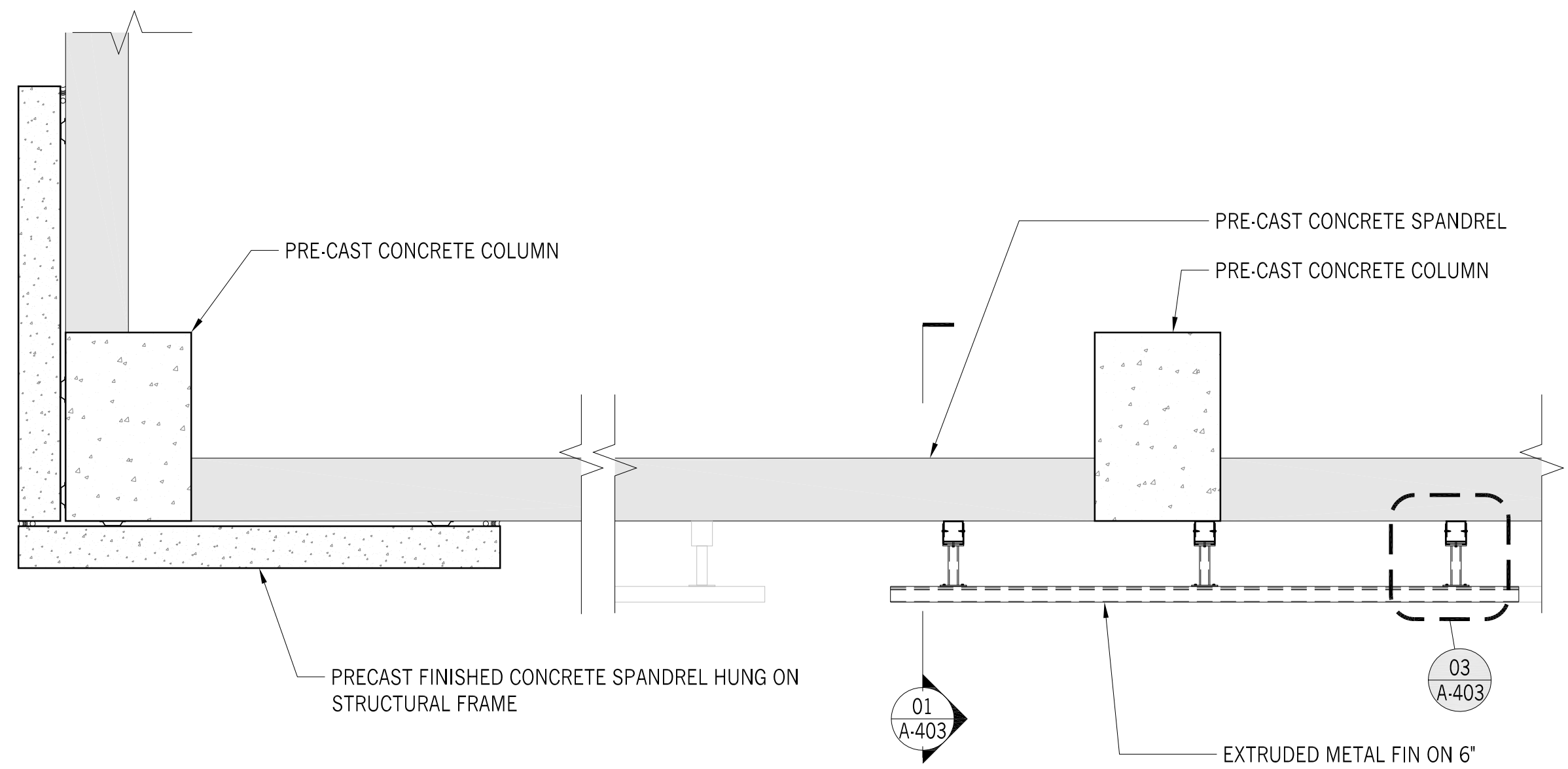
DRAWING NUMBER:  
**A-403**  
 DRAWING ORDER: 67 of 205



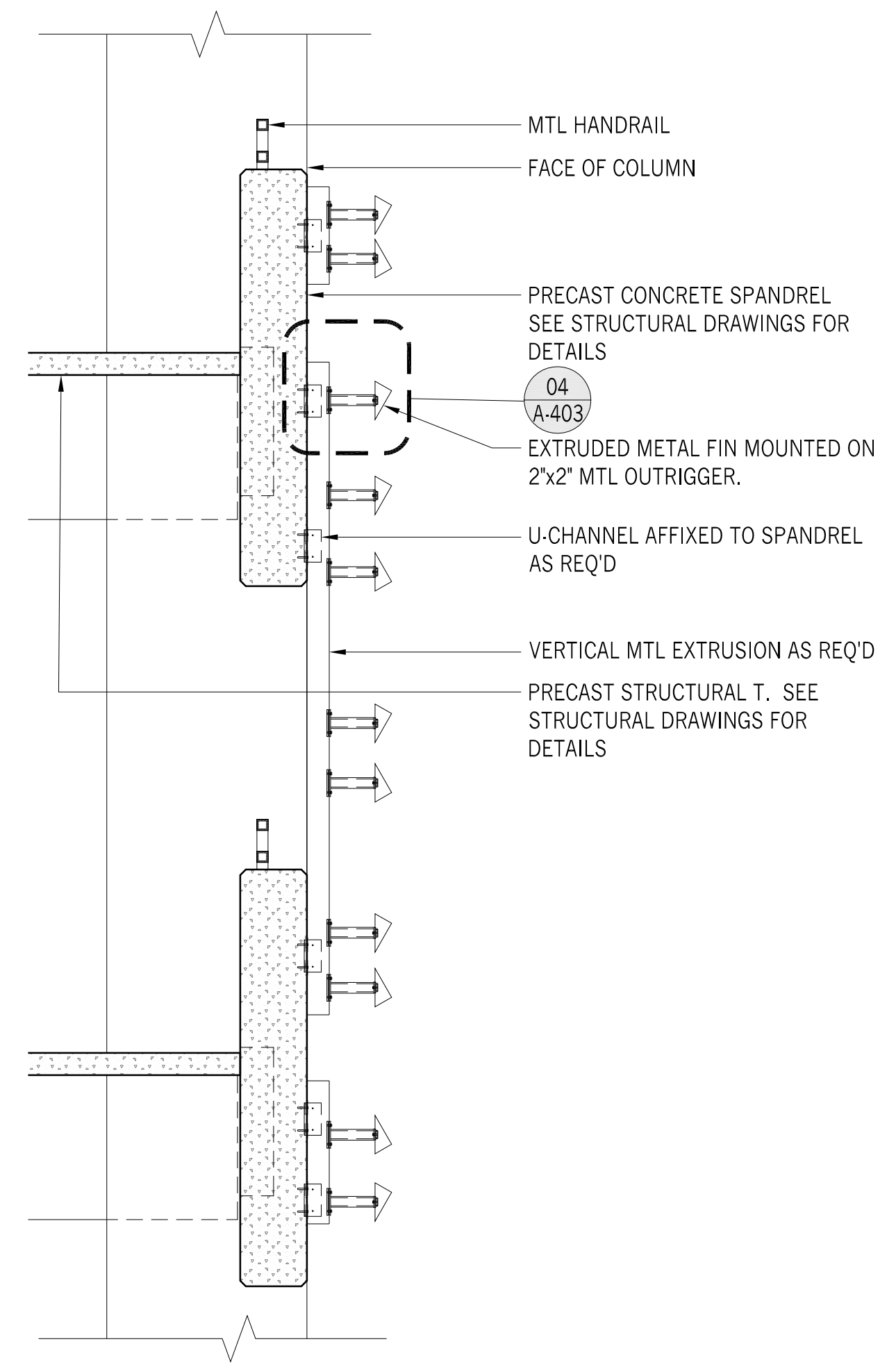
**04** ENLARGED SECTION DETAIL - EXTRUDED METAL FIN  
 3" = 1'-0"



**03** ENLARGED PLAN SECTION - EXTRUDED METAL FIN  
 3" = 1'-0"



**02** ENLARGED PLAN SECTION - GARAGE PRECAST SPANDREL  
 1/2" = 1'-0"



**01** ENLARGED SECTION - GARAGE PRECAST SPANDREL  
 1/2" = 1'-0"

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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ  
**QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

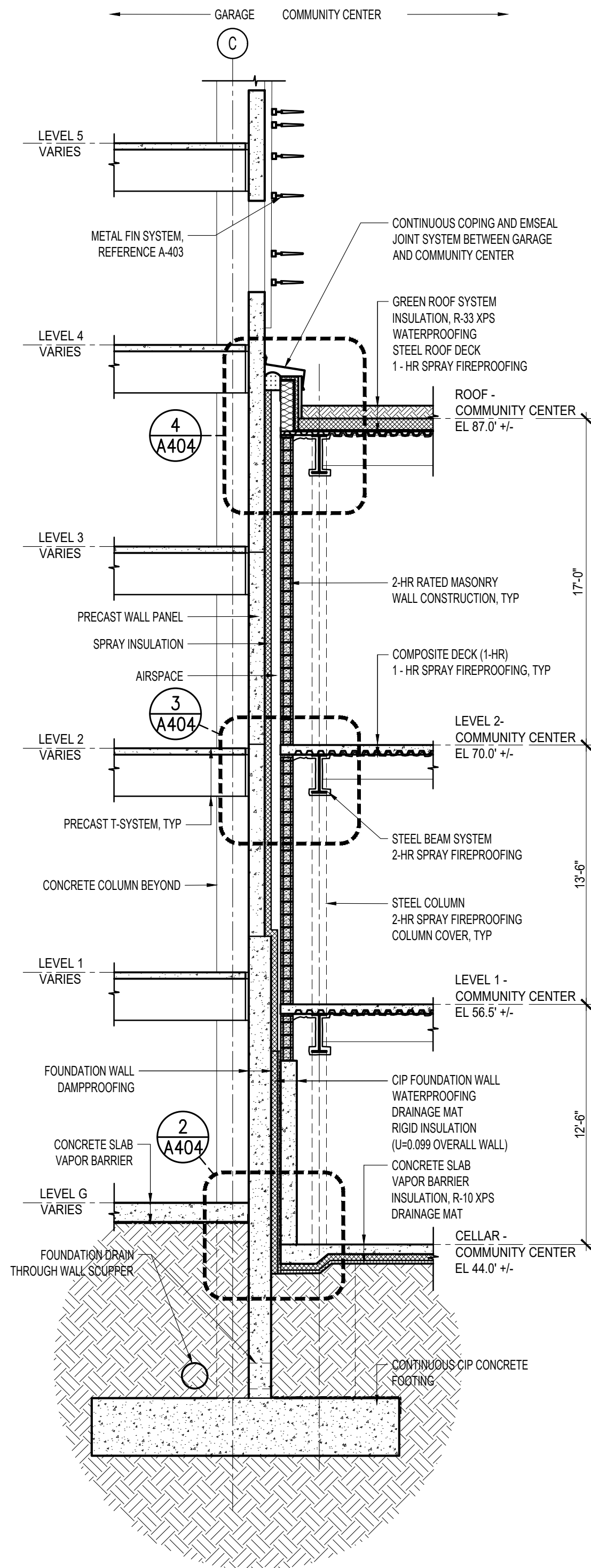
KEY PLAN:

DRAWING TITLE:  
**WALL SECTION AND DETAILS**

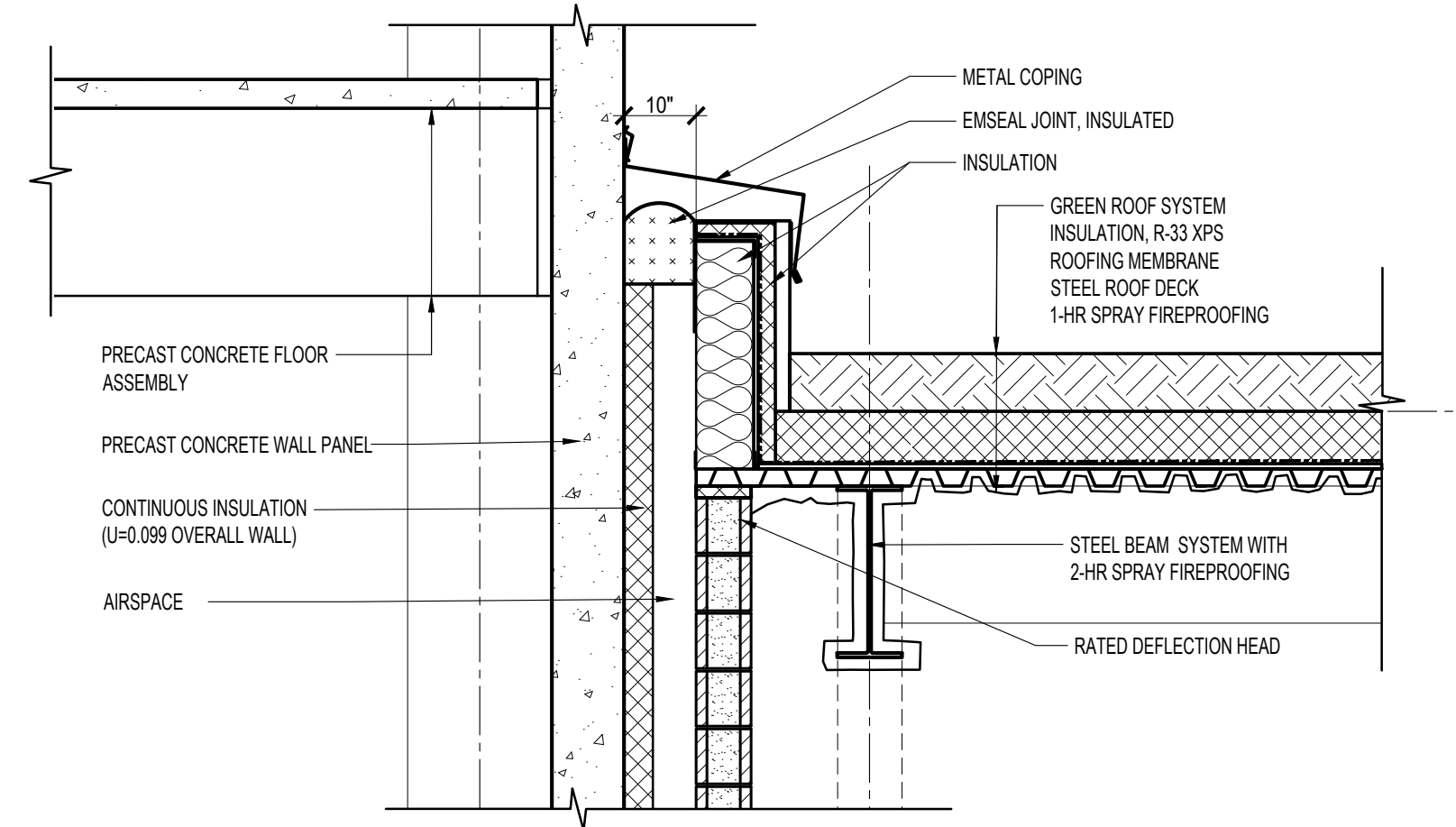
SCALE: VARIES DATE: SEPTEMBER 18, 2020

SEAL:

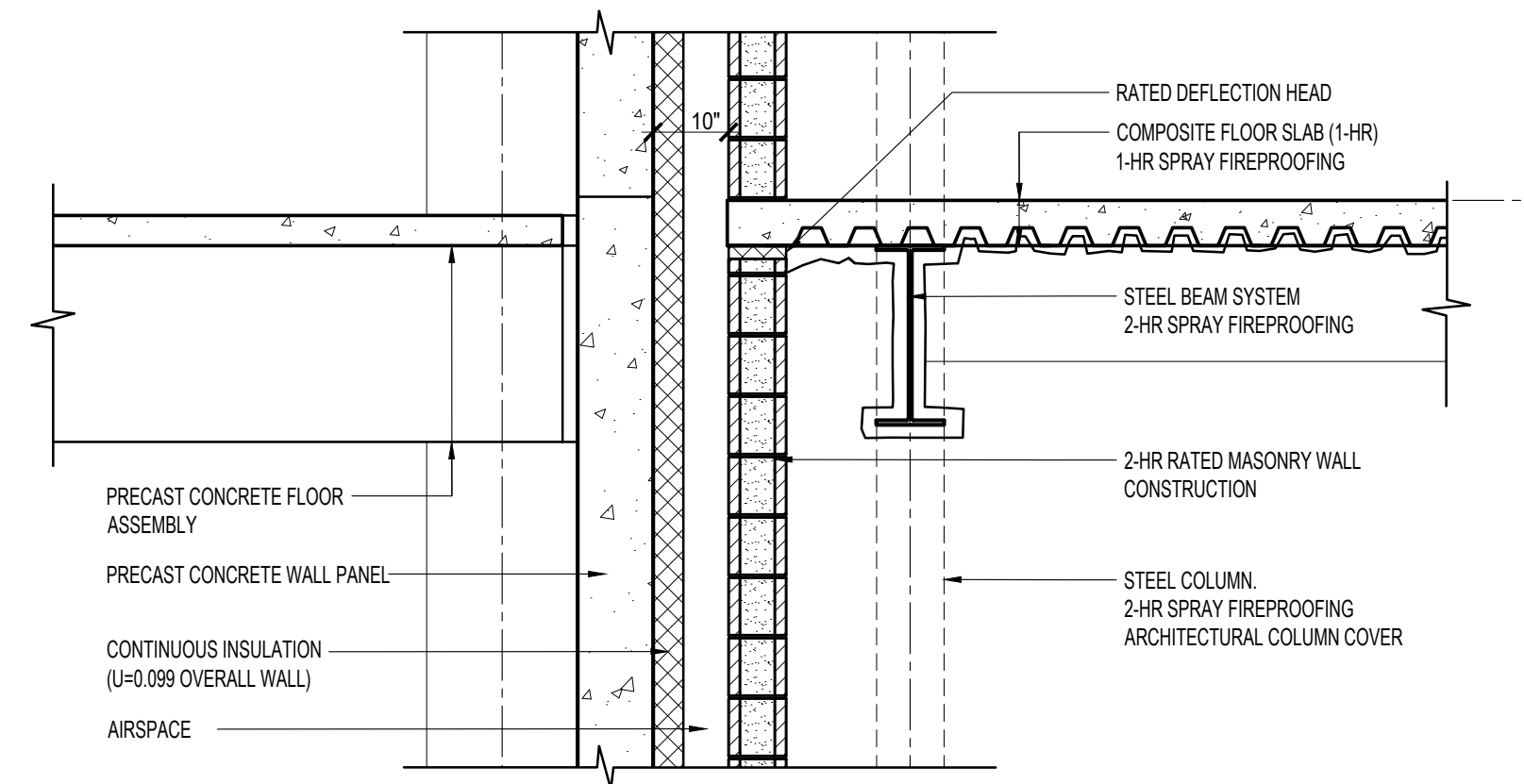
DRAWING NUMBER:  
**A-404**  
DRAWING ORDER: 68 of 205



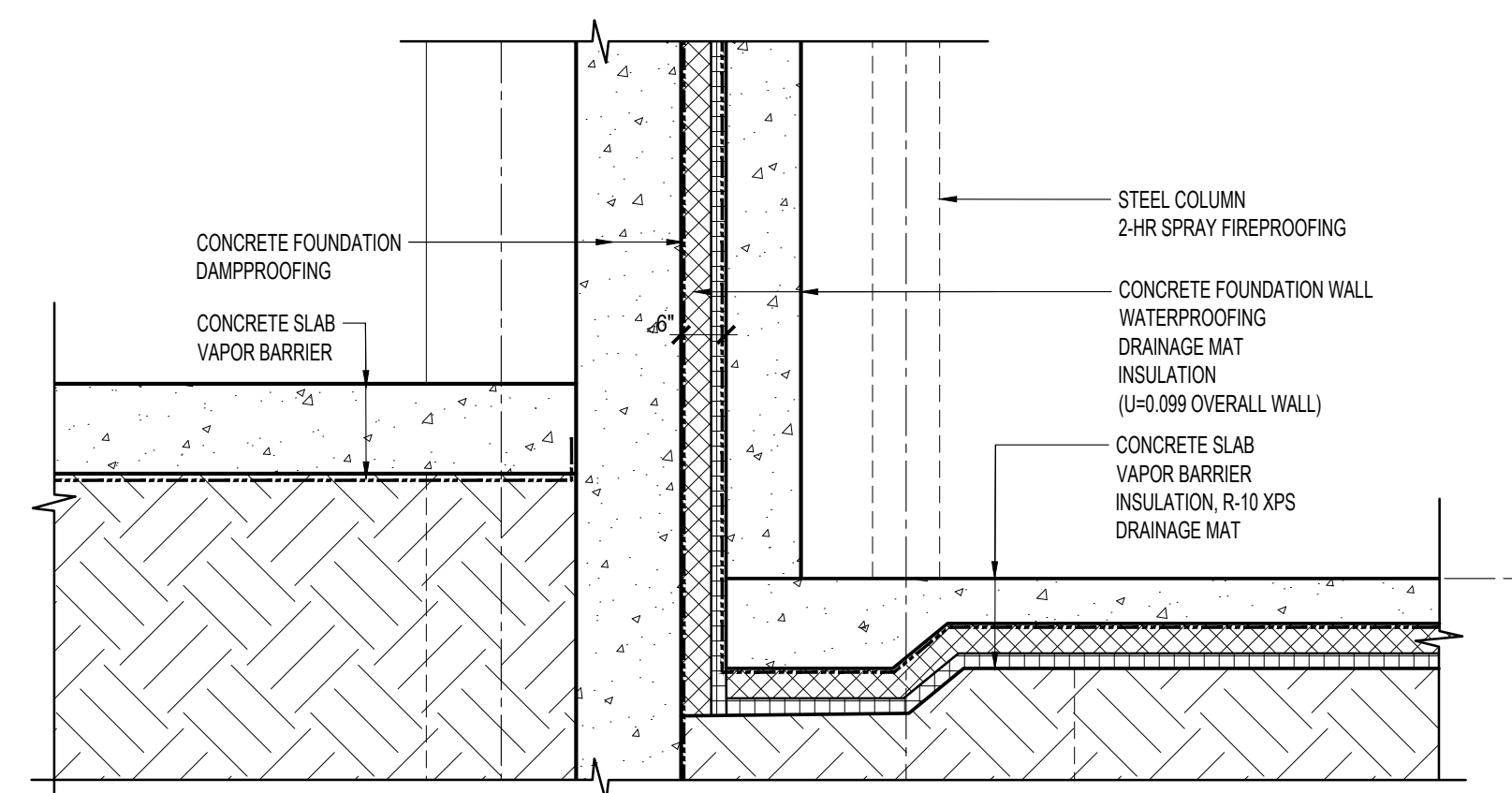
**01 WALL SECTION SHARED WALL ALONG GRID C**  
3/16" = 1'-0"



**04 SECTION DETAIL - TOP OF WALL**  
1/2" = 1'-0"



**03 SECTION DETAIL - TYPICAL FLOOR**  
1/2" = 1'-0"



**02 SECTION DETAIL - FOUNDATION**  
1/2" = 1'-0"

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**TECHNICAL  
DRAWINGS**

KEY PLAN:



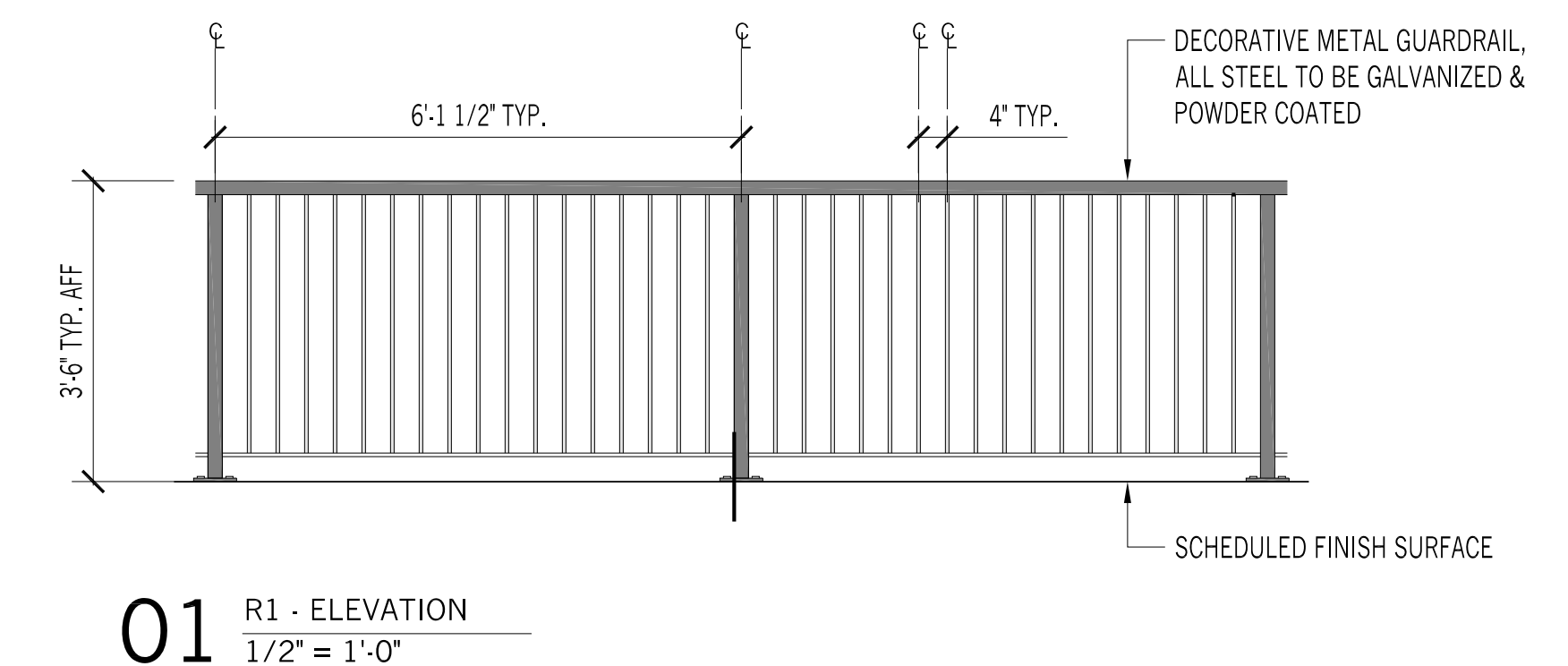
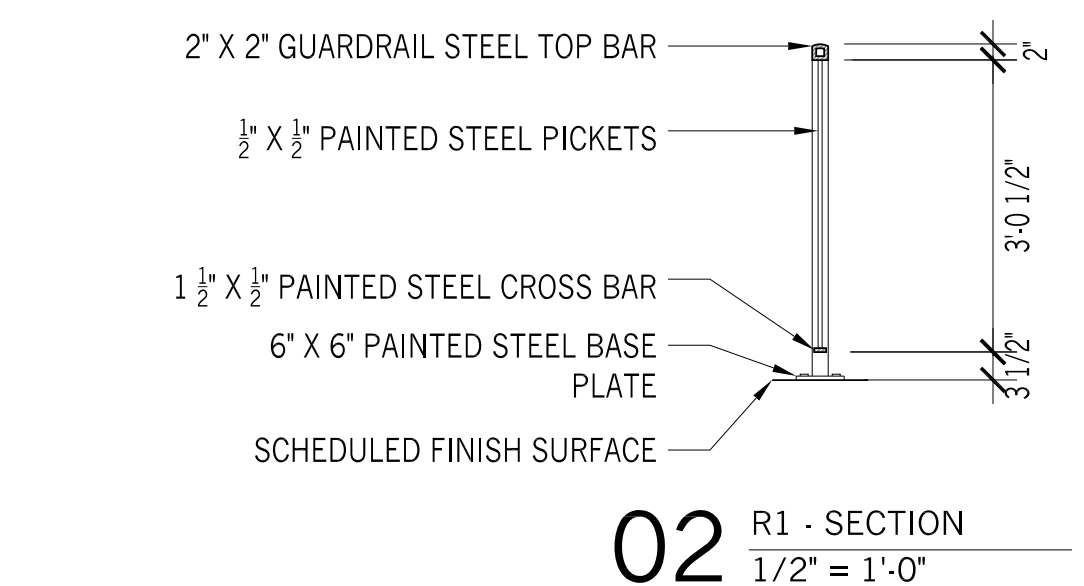
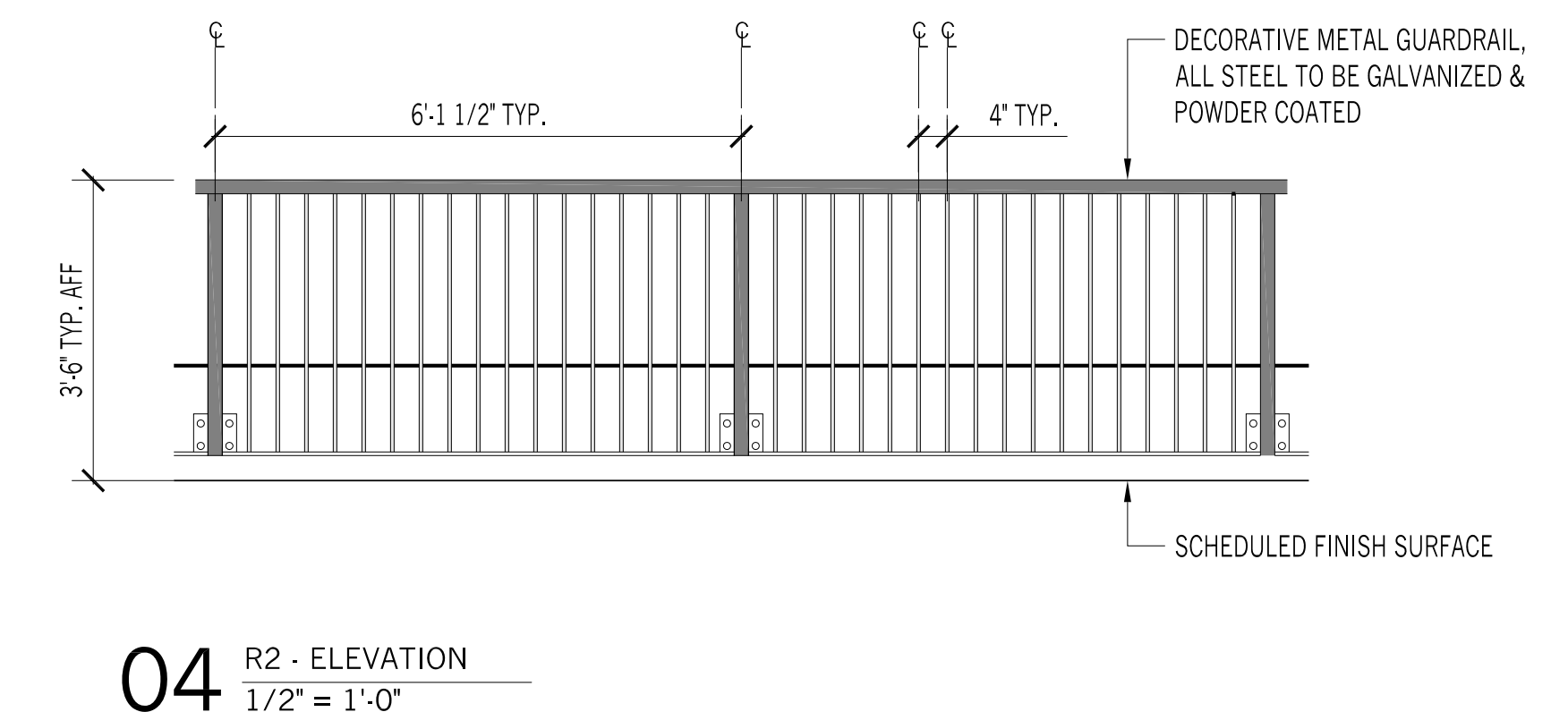
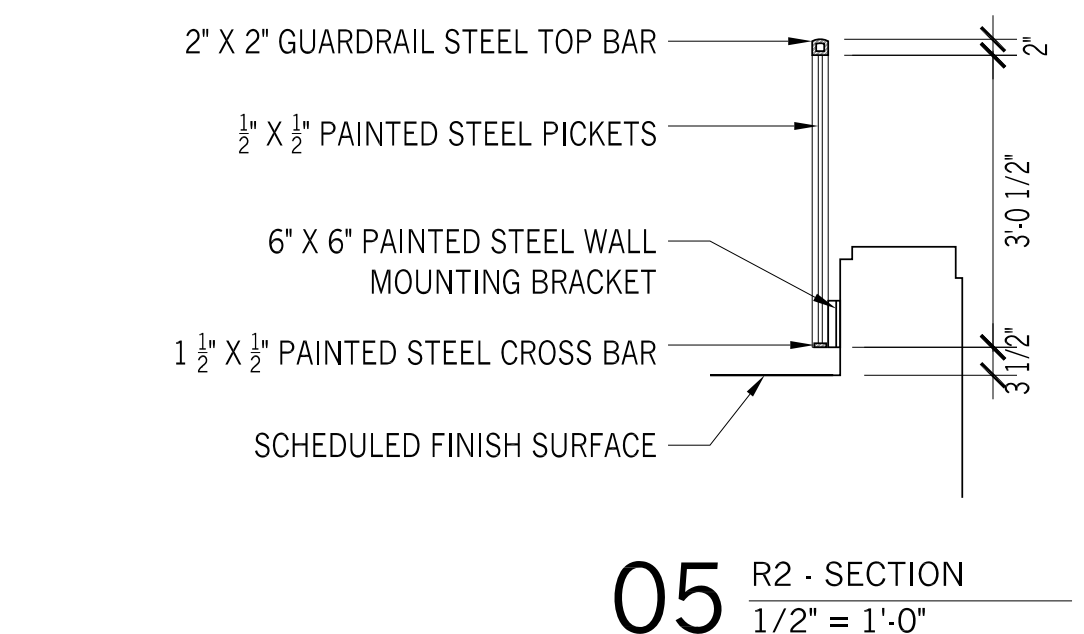
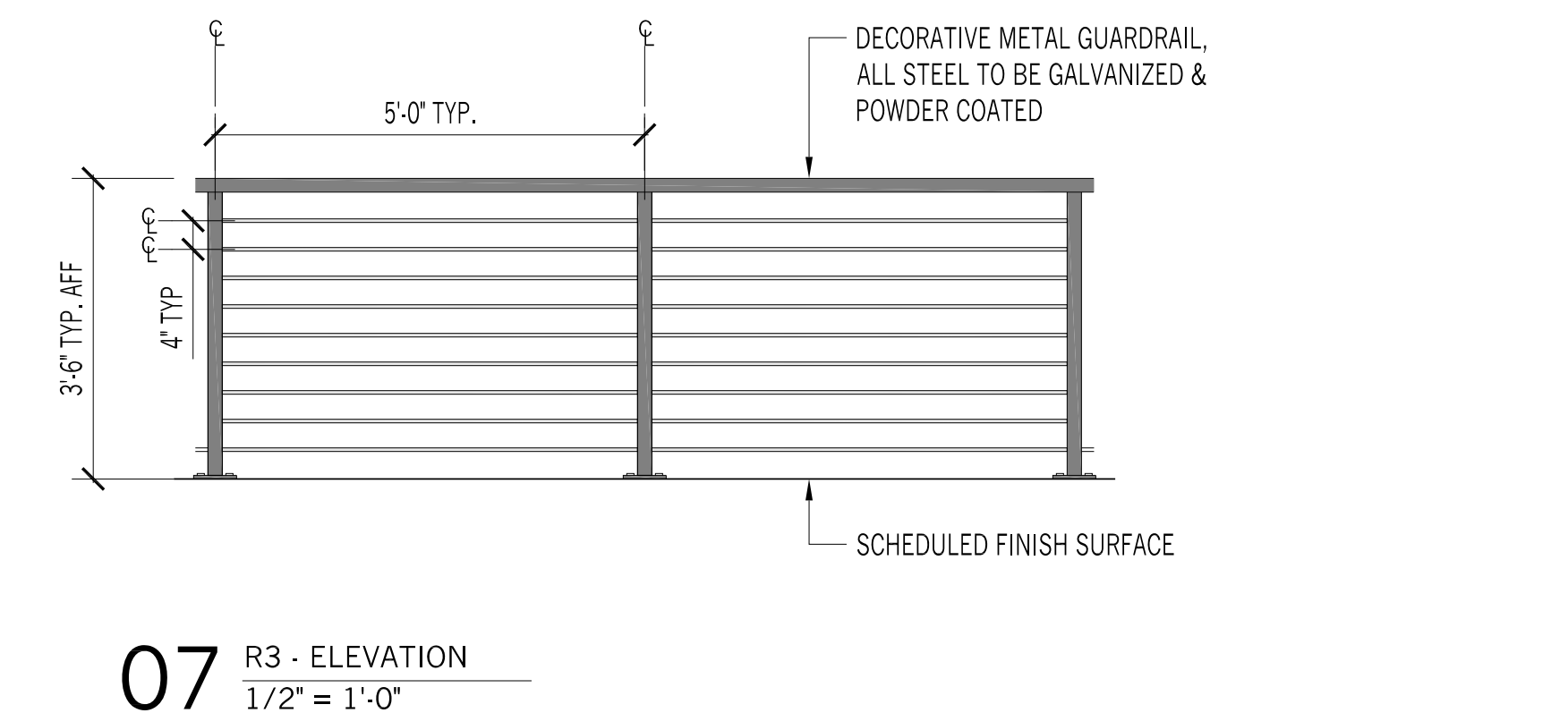
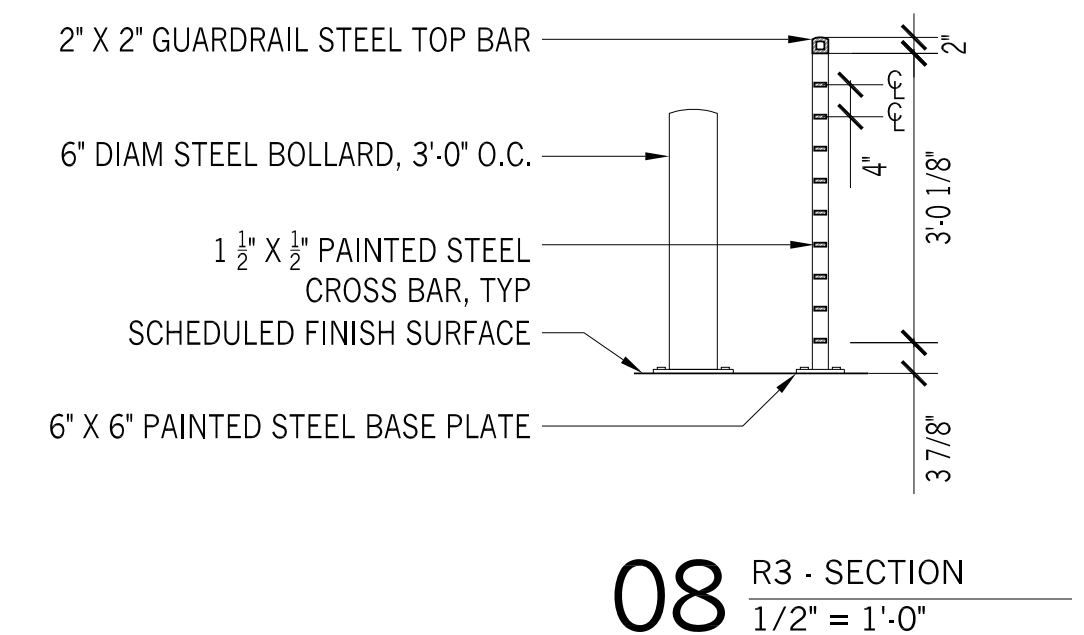
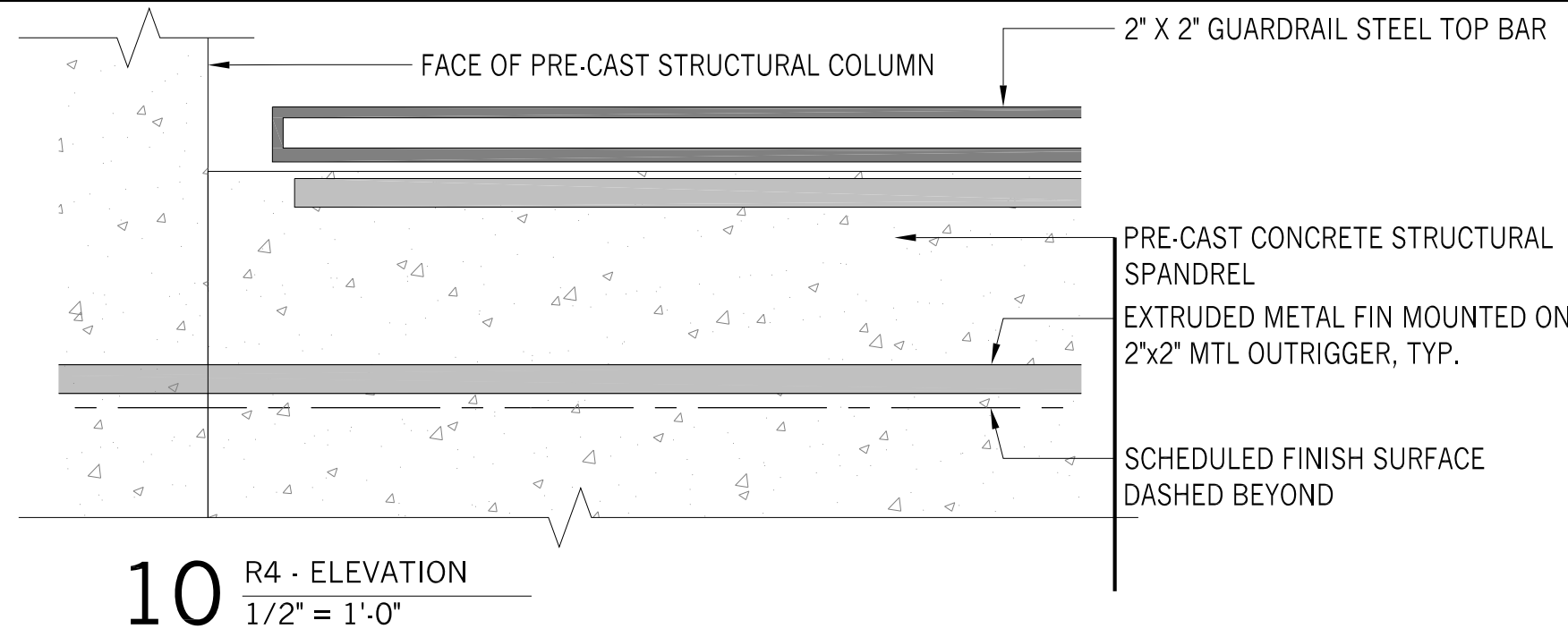
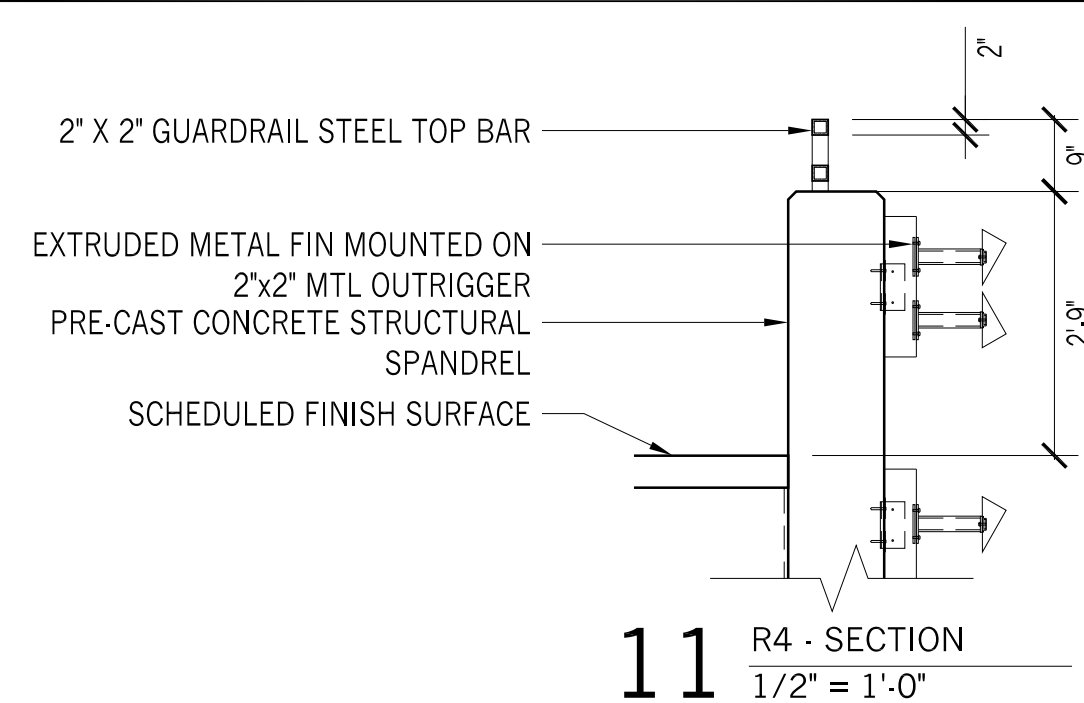
DRAWING TITLE:  
**EXTERIOR  
DETAILS -  
RAILING TYPES**

SCALE: 1/2" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**A-500**

DRAWING ORDER: 69 of 205



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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ  
**QUEENS GARAGE & COMMUNITY SPACE**  
 80-25 126th St,  
 Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

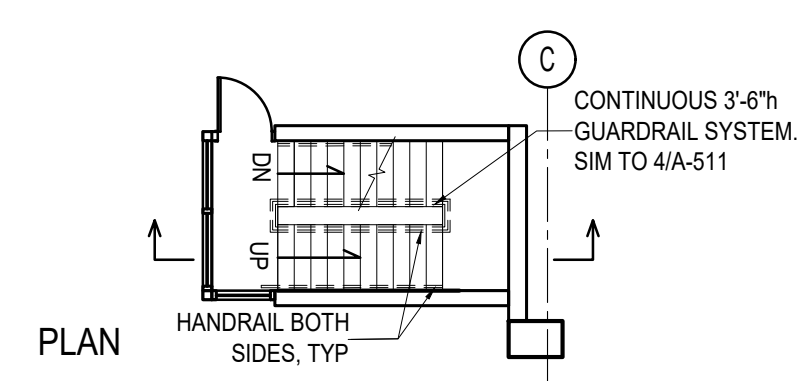
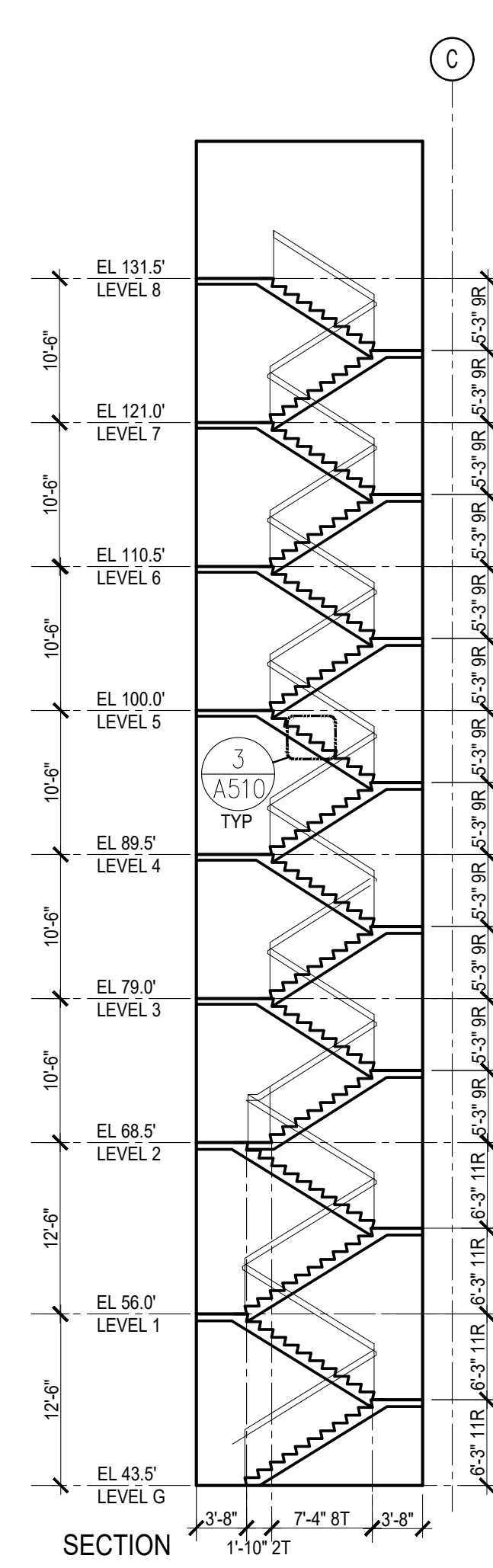
KEY PLAN:

DRAWING TITLE:  
**STAIR DETAILS - STAIR 1 AND 2**

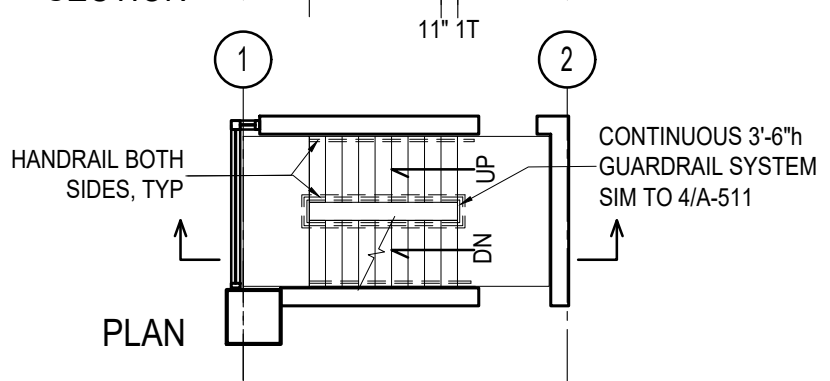
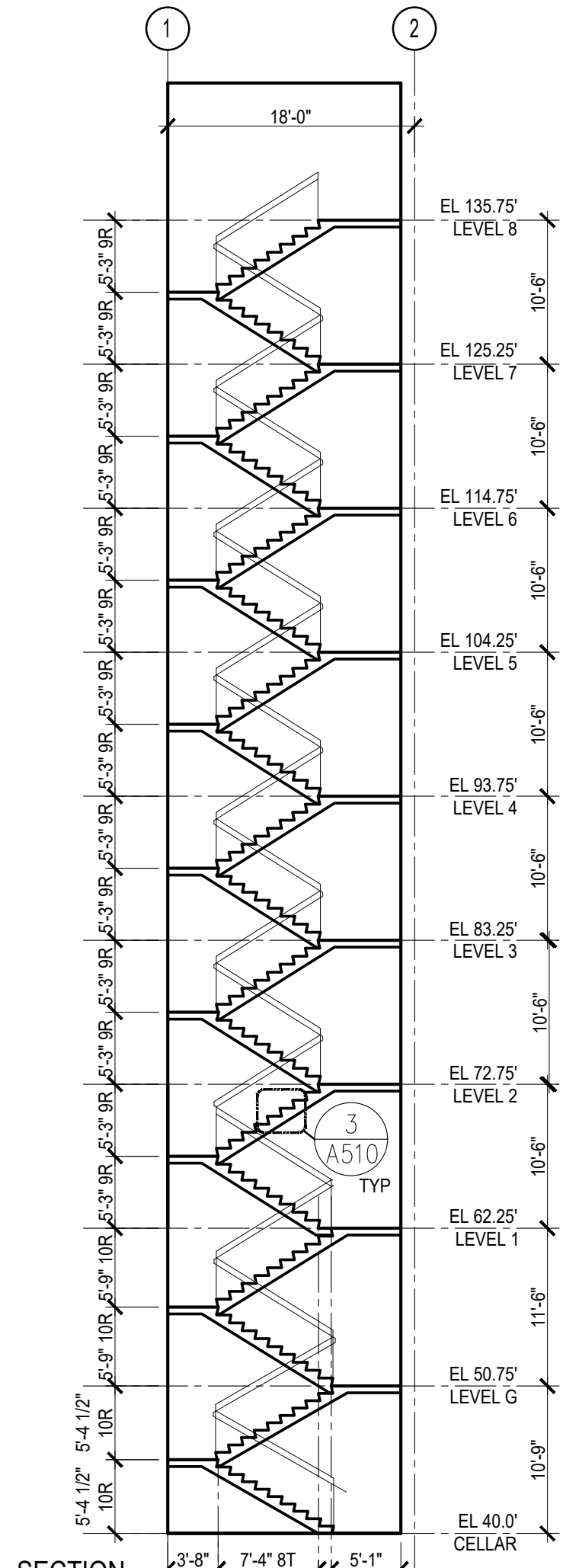

SCALE: VARIES DATE: SEPTEMBER 18, 2020

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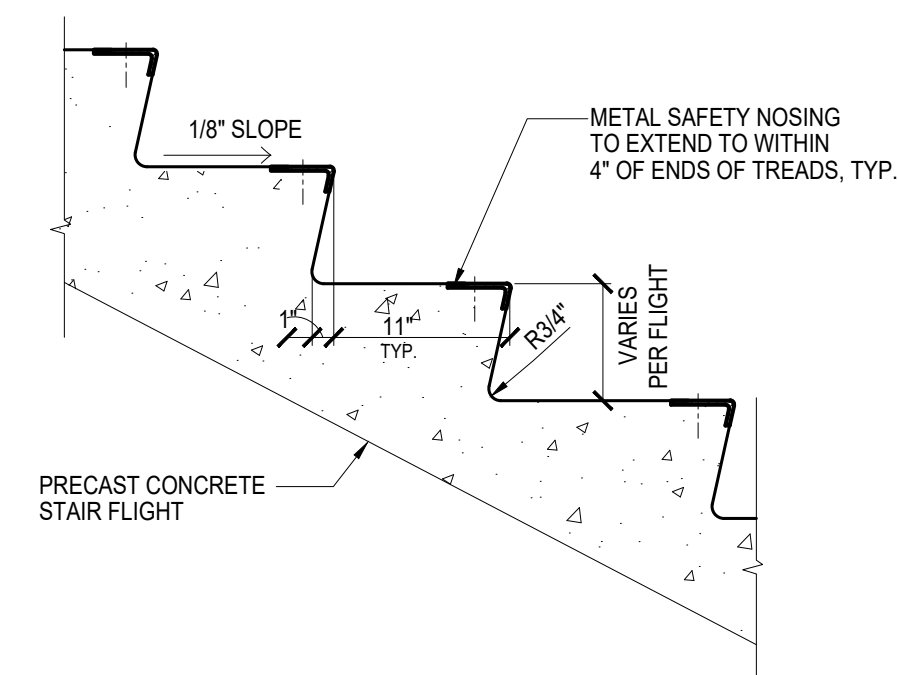
DRAWING NUMBER:  
**A-510**  
 DRAWING ORDER: 70 of 205



01 STAIR LAYOUT - STAIR 1  
 3/32" = 1'-0"



02 STAIR LAYOUT - STAIR 2  
 3/32" = 1'-0"



03 STAIR DETAIL - PRECAST CONCRETE STAIR (STAIRS 1&2)  
 1" = 1'-0"

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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

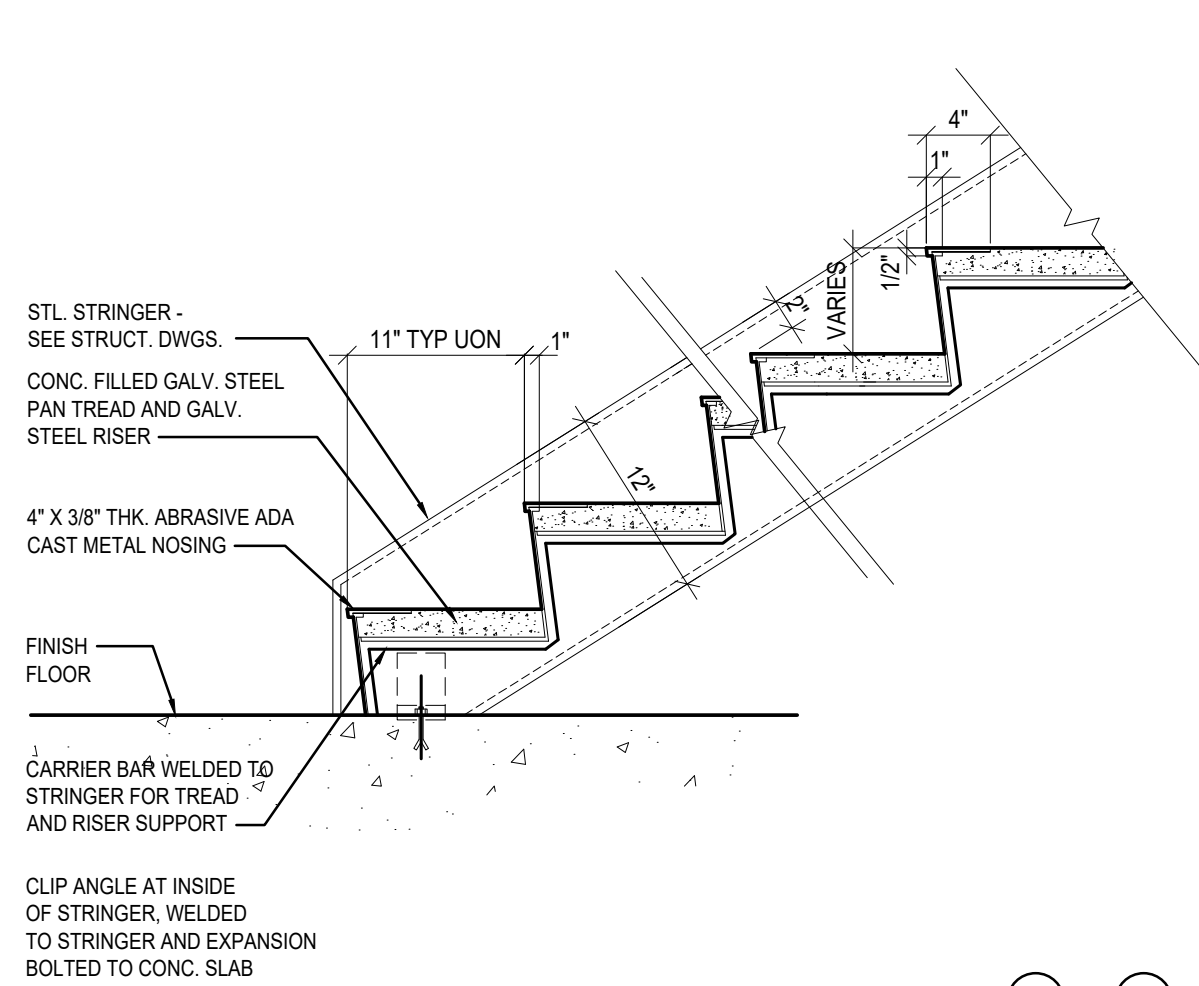
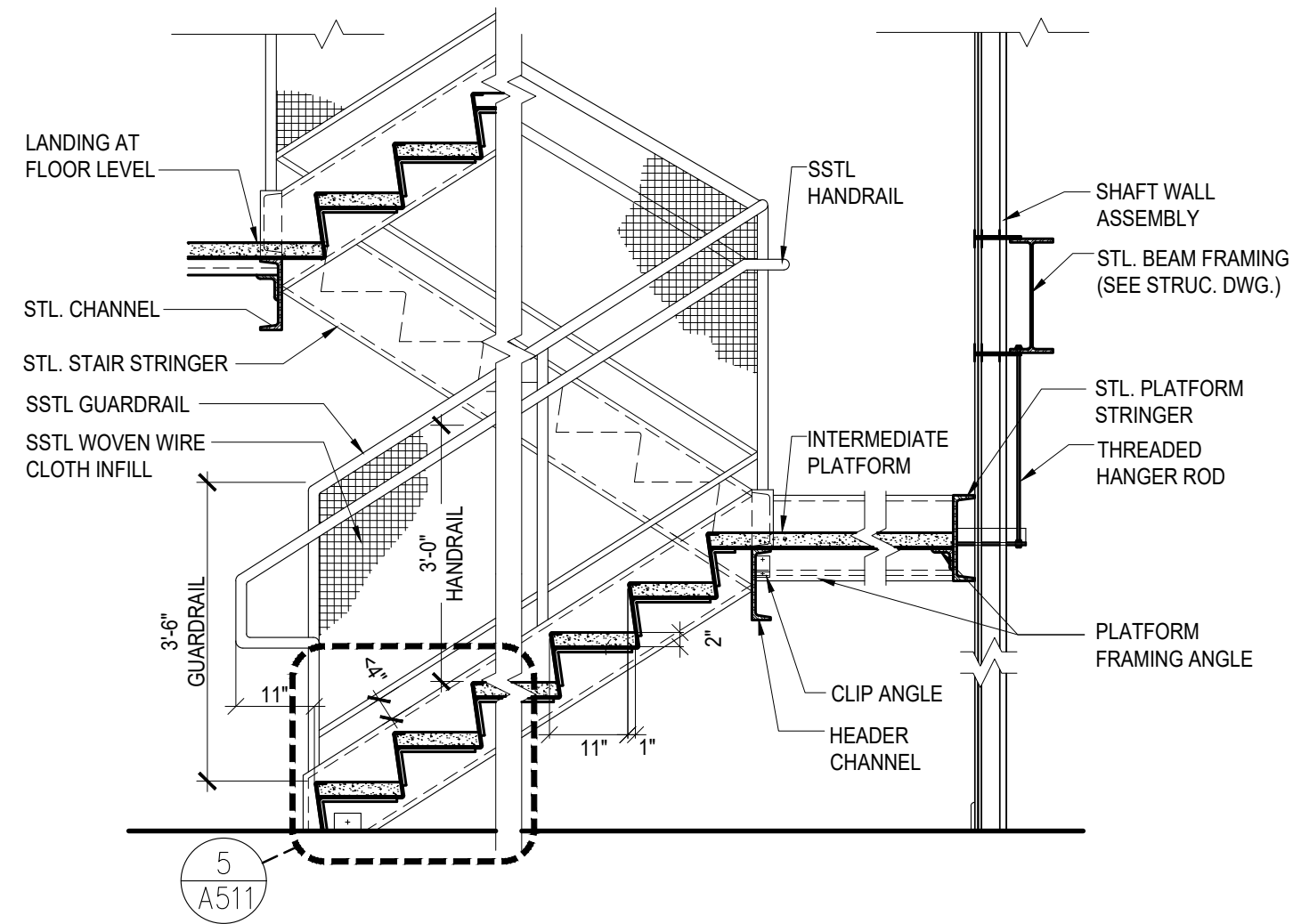
KEY PLAN:

DRAWING TITLE:  
**STAIR DETAILS - STAIRS 3, 4 AND 5**

SCALE: VARIES DATE: SEPTEMBER 18, 2020

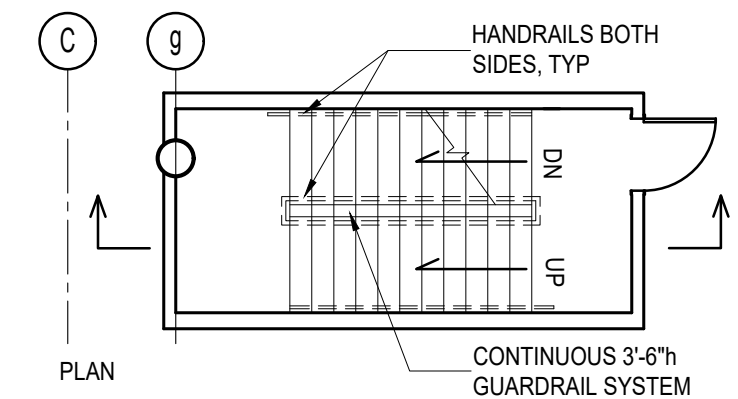
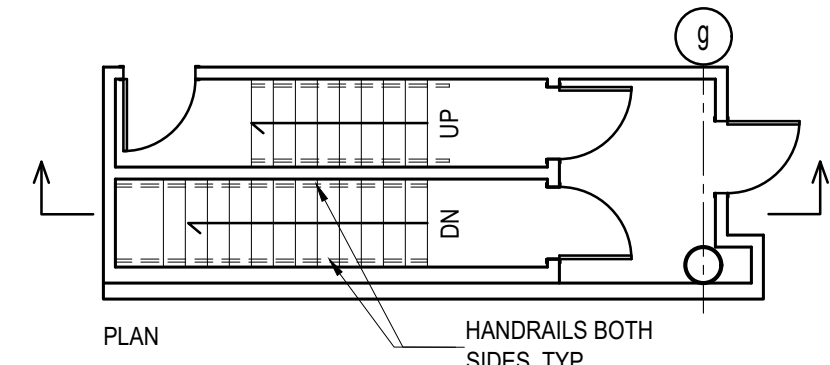
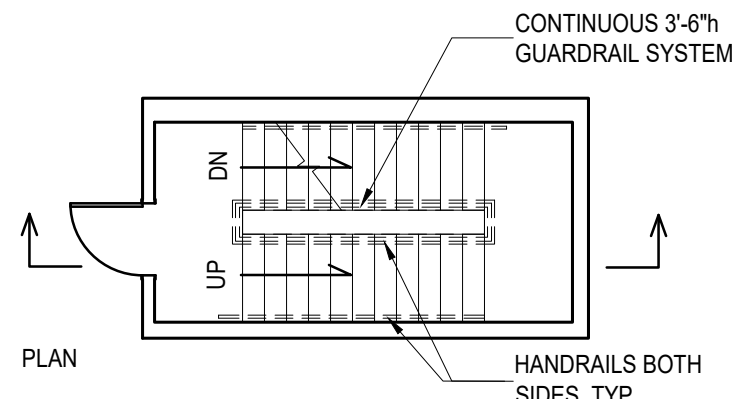
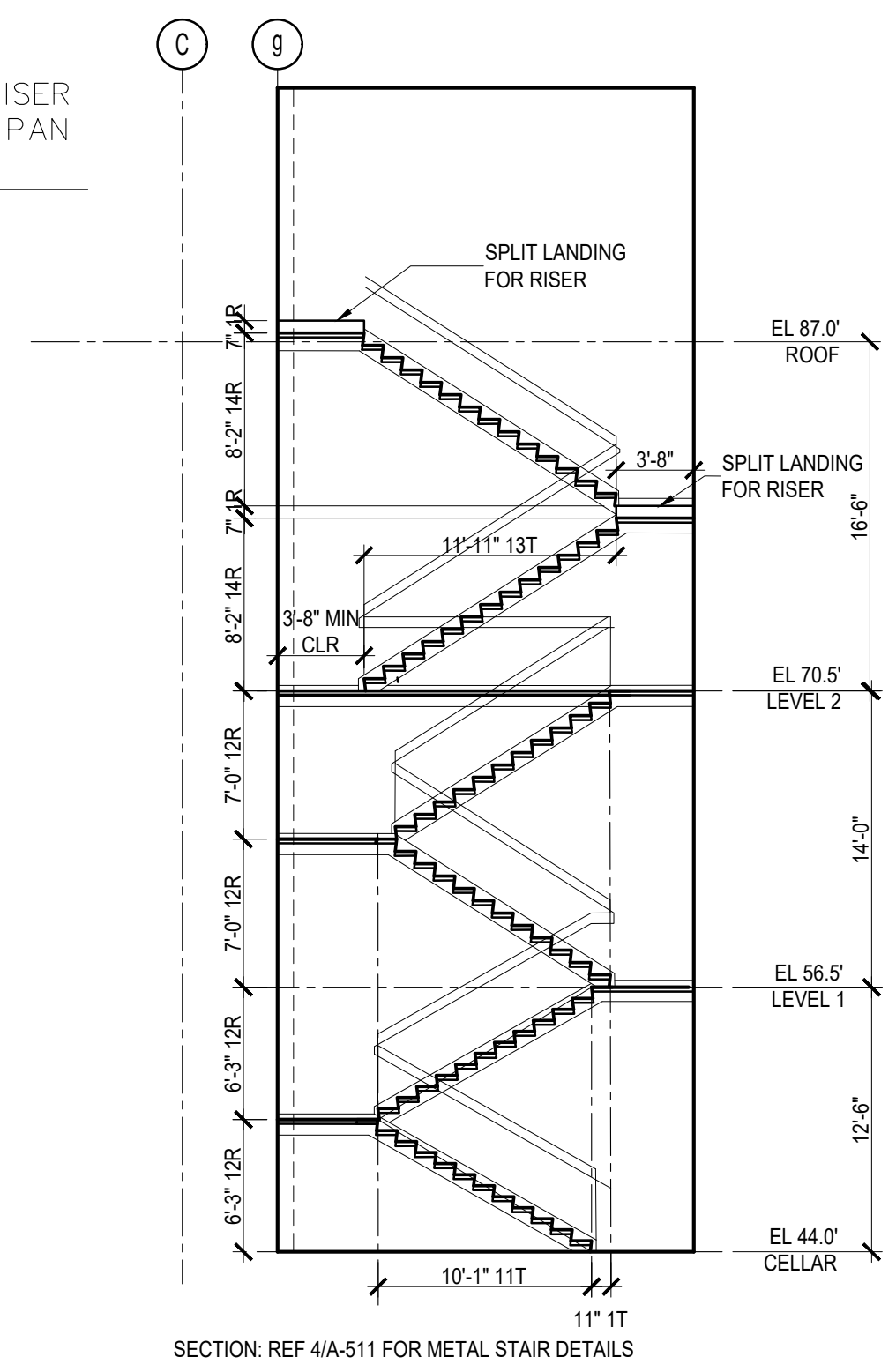
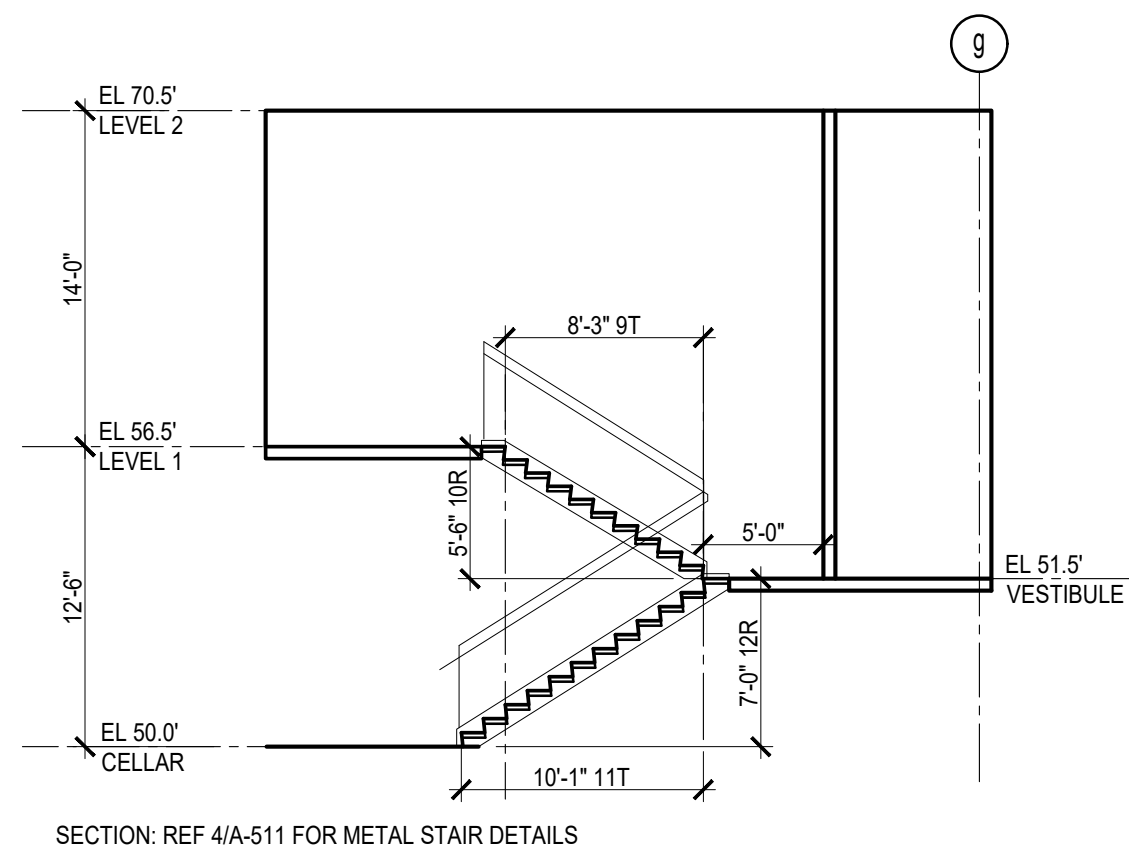
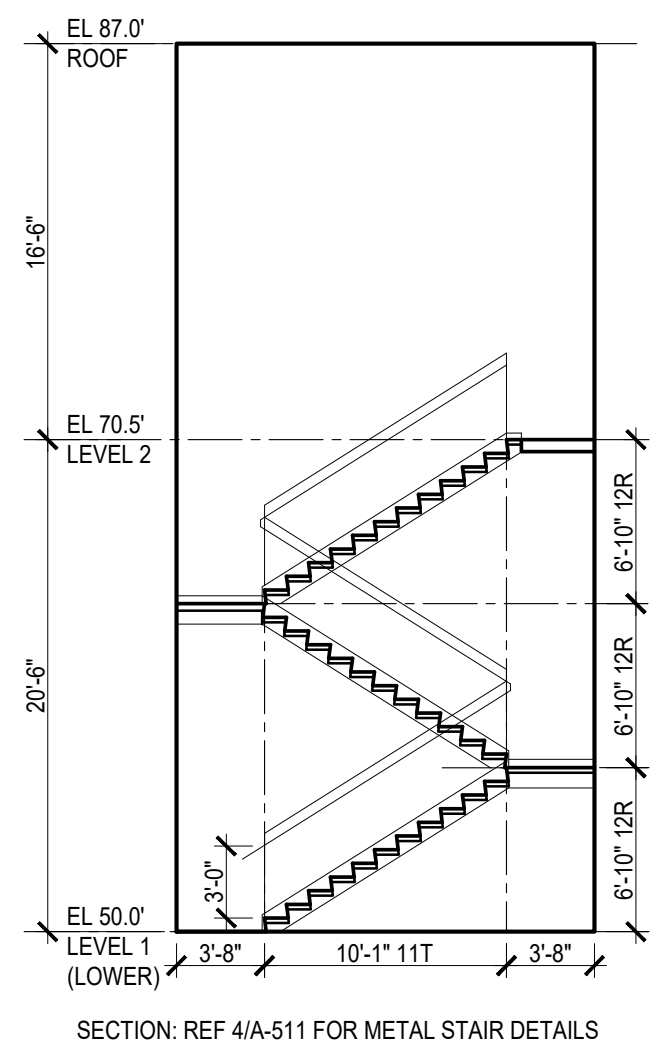
SEAL:

DRAWING NUMBER:  
**A-511**  
DRAWING ORDER: 1 71 of 205



04 STAIR DETAIL – GUARDRAIL, LANDING, AND TYPICAL FLIGHT STEEL STAIR – CONCRETE AND METAL PAN (STAIRS 3, 4, 5)  
1/2" = 1'-0"

05 STAIR DETAIL – TYPICAL TREAD AND RISER STEEL STAIR – CONCRETE AND METAL PAN (STAIRS 3, 4, 5)  
1" = 1'-0"



01 STAIR LAYOUT – STAIR 3  
1/8" = 1'-0"

02 STAIR LAYOUT – STAIR 4  
1/8" = 1'-0"

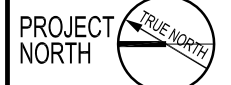
03 STAIR LAYOUT – STAIR 5  
1/8" = 1'-0"

REVISION	DESCRIPTION	DATE

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**TECHNICAL DRAWINGS**

KEY PLAN:



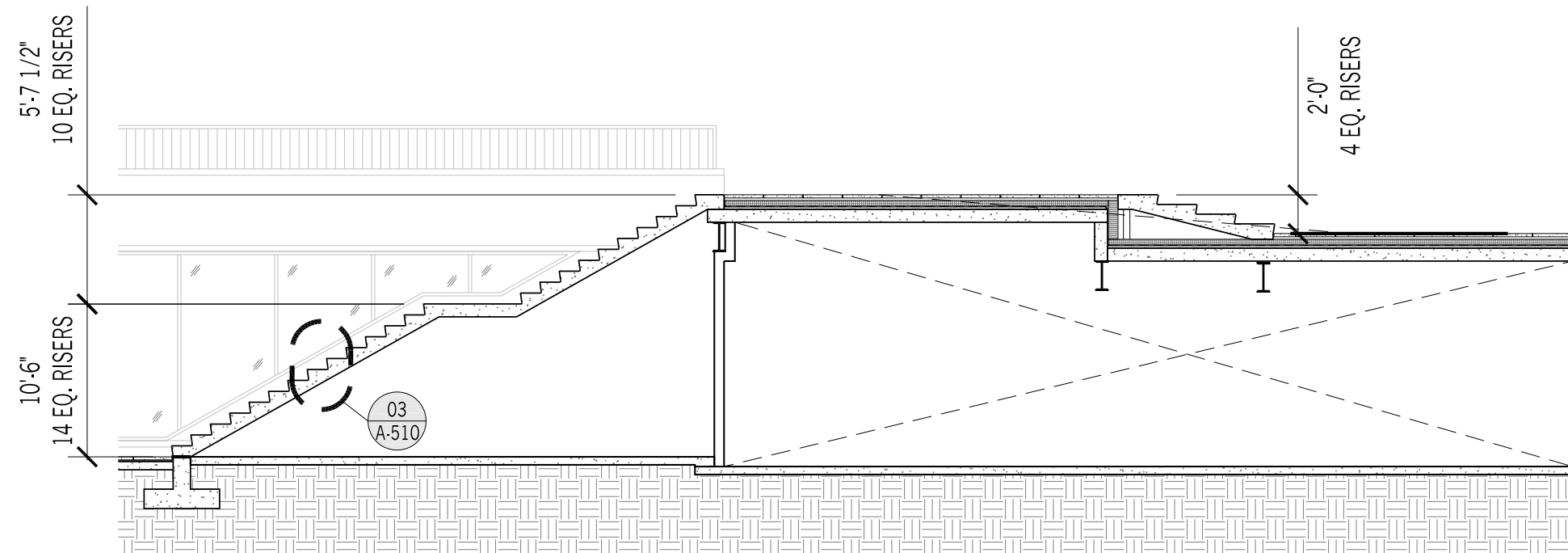
DRAWING TITLE:  
**STAIR DETAILS - STAIRS 6, 7 + 8**

SCALE: VARIES DATE: SEPTEMBER 18, 2020

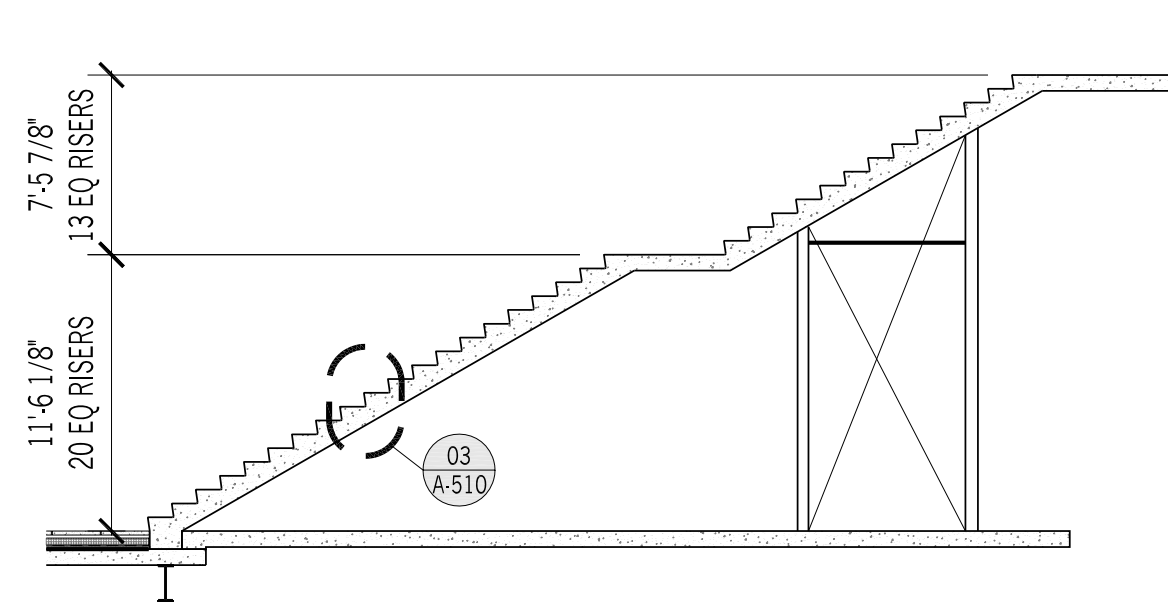
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DRAWING NUMBER:  
**A-512**

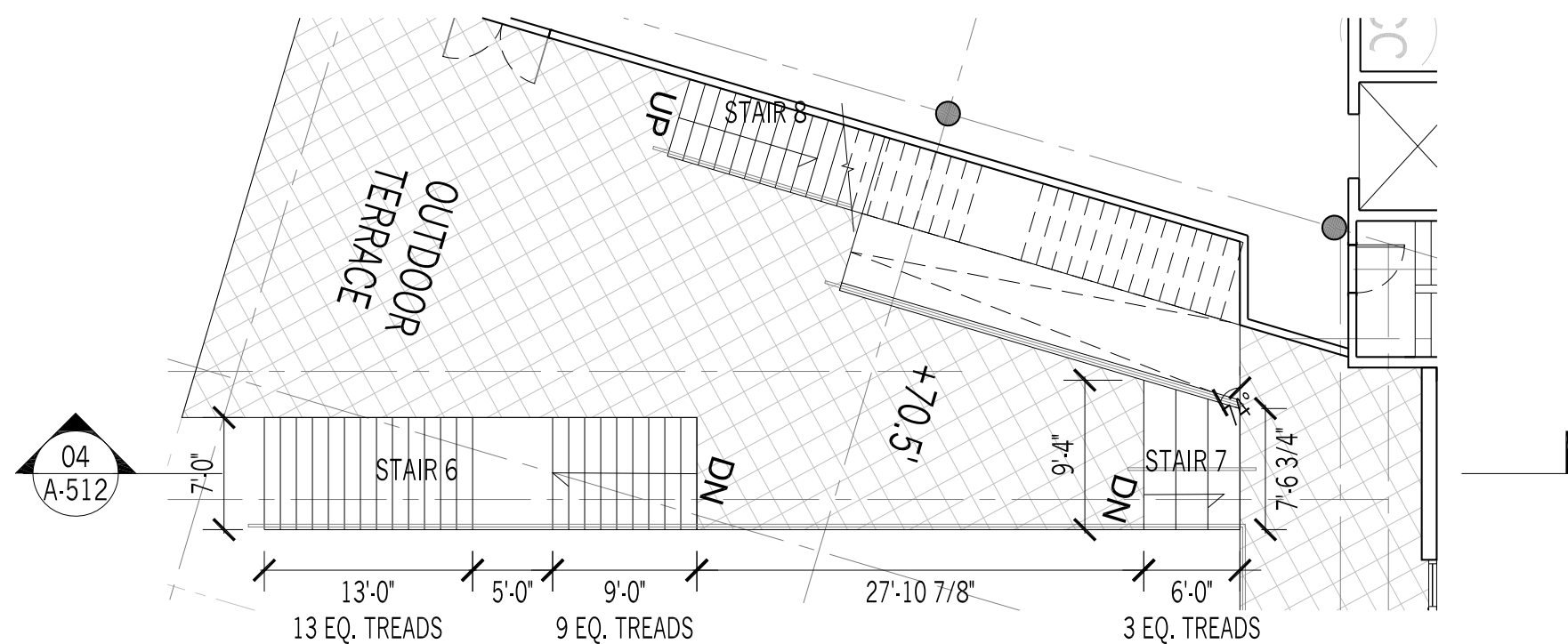
DRAWING ORDER: 72 of 205



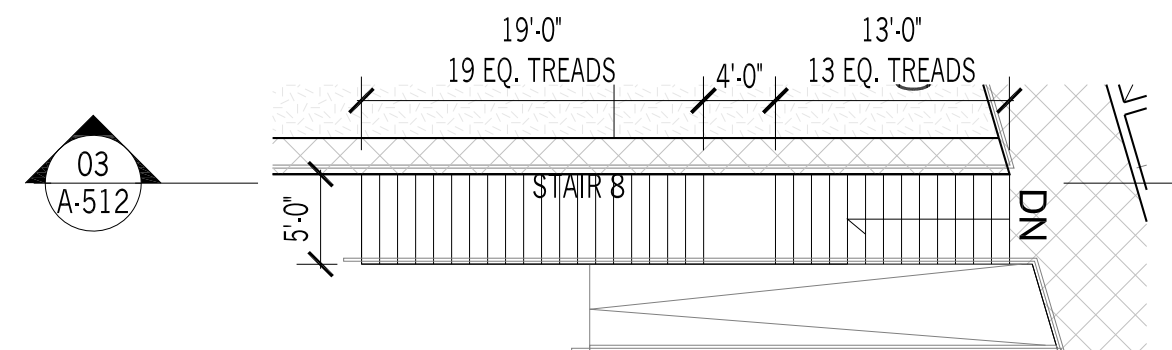
**04** STAIR 6-7 - ENLARGED SECTION  
1/8" = 1'-0"



**03** STAIR 8 - ENLARGED SECTION  
1/8" = 1'-0"



**02** STAIR 6 - 7 - ENLARGED PLAN  
3/32" = 1'-0"



**01** STAIR 8 - ENLARGED PLAN  
3/32" = 1'-0"

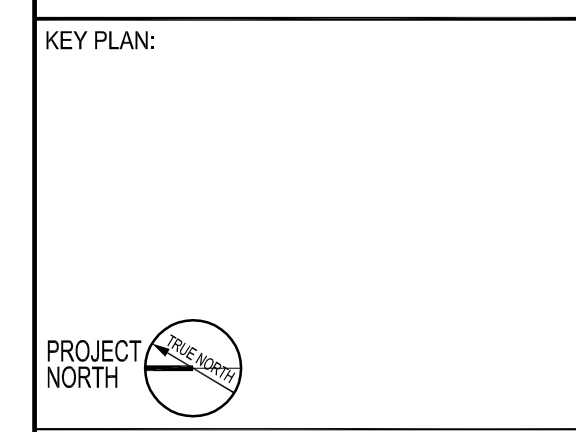


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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ  
QUEENS GARAGE &  
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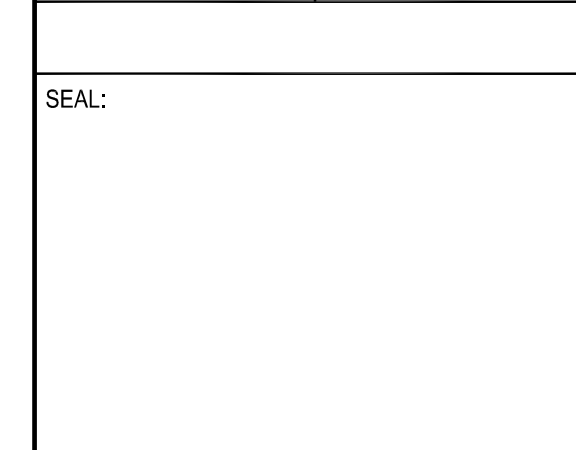
**TECHNICAL  
DRAWINGS**

KEY PLAN:  


DRAWING TITLE:  
**ELEVATOR PLANS  
AND DETAILS**

PROJECT NORTH 

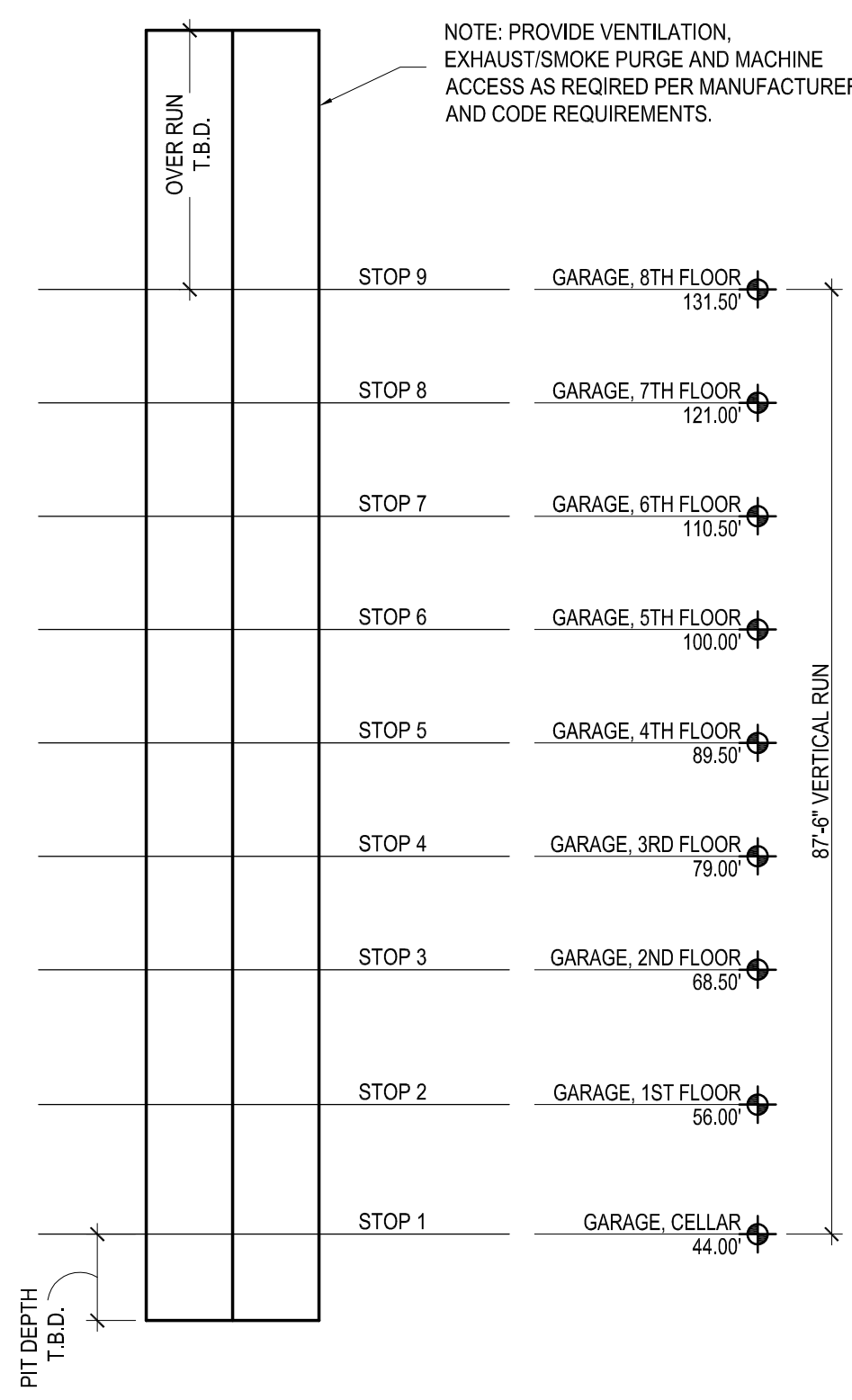
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SEAL:  


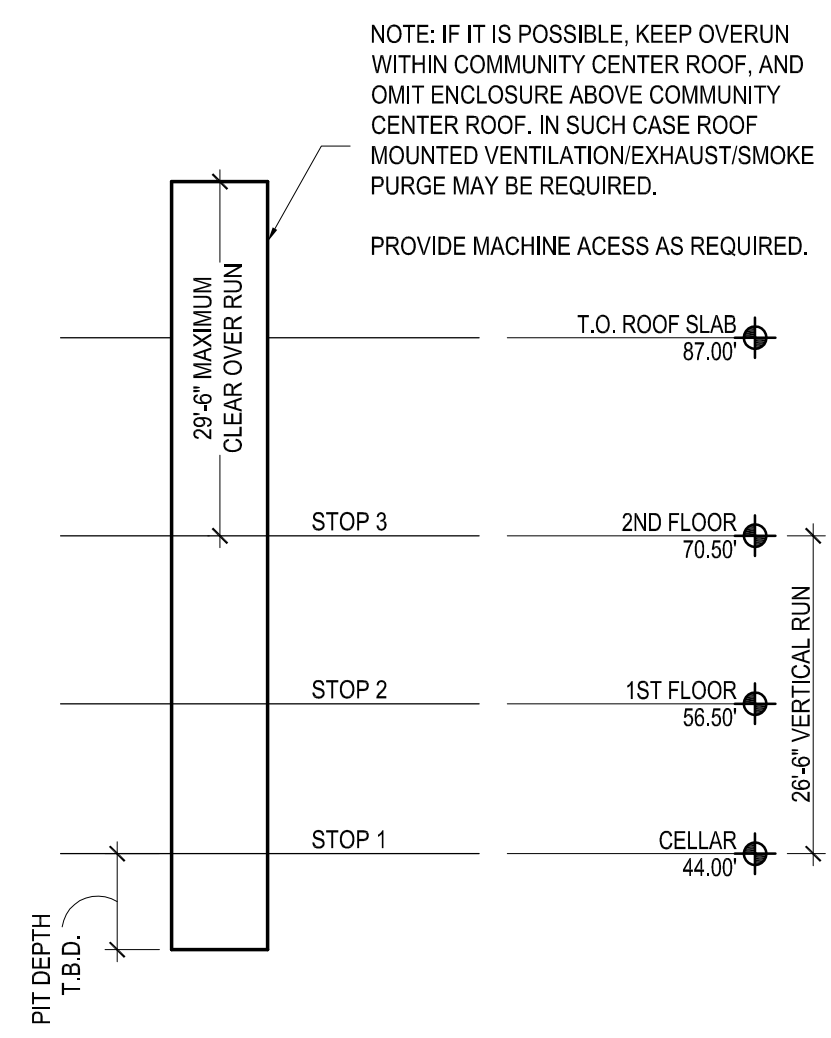
DRAWING NUMBER:  
**A-520**  
DRAWING ORDER: 73 of 205

	ELEVATOR 1	ELEVATOR 2	ELEVATOR 3
<b>CRITERIA BASED ON ARCHITECTURAL DESIGN</b>			
LOCATION	GARAGE	GARAGE	COMMUNITY CENTER
EXPOSURE	EXTERIOR	EXTERIOR	INTERIOR
NO. STOPS	9	9	3
VERTICAL RUN	87'-6"	87'-6"	26'-6"
SHAFT SIZE SHOWN	16' W X 10'-4" D CLEAR, SHARED WITH ELEVATOR 2	SEE ELEVATOR 1	8'-0" W X 7'-4" D CLEAR* MAY BE REVISED TO FIT OVERHEAD GEARLESS TRACTION ELEVATOR AND CAR LARGE ENOUGH TO FIT STRETCHER
AVAILABLE CLEAR OVER-RUN	T.B.D	T.B.D	29'-6"
CLEAR PIT DEPTH	T.B.D	T.B.D.	T.B.D.
EMR LOCATION	ALL (3) ELEVATORS SHALL 1 EMR AT CELLAR, ADJACENT TO ELEV. 3 SHAFT		
ELEVATOR MACHINE ROOM SIZE	8'-5" W X 7'-8" D CLEAR SHOWN (SHARED BY ALL 3 ELEVATORS)		
<b>OWNER'S RFP REQUIREMENTS</b>			
MAXIMUM AVERAGE INTERVAL	45 SECONDS	45 SECONDS	NOT PRESCRIBED
HANDLING CAPACITY	SEE DESIGN CRITERIA IN APPENDIX	SEE DESIGN CRITERIA IN APPENDIX	NOT PRESCRIBED
RATED LOAD	HOSPITAL CONFIG: MIN. 3,500 LBS STANDARD CONFIG.: MIN. 4,000 LBS	HOSPITAL CONFIG: MIN. 3,500 LBS HOSPITAL CONFIG: MIN. 3,500 LBS	HOSPITAL CONFIG: MIN. 3,500 LBS HOSPITAL CONFIG: MIN. 3,500 LBS
MINIMUM SPEED	350 FPM	350 FPM	150 FPM
PREFERRED ELEVATOR TYPE	OVERHEAD GEARLESS TRACTION	OVERHEAD GEARLESS TRACTION	NOT PRESCRIBED FOR RUNS < 30'
CAR TO ACCOMMODATE STRETCHER	YES, REQUIRED	YES, REQUIRED	UNCLEAR IF REQUIRED. ARCHITECT PREFERS TO INCLUDE ROOM FOR STRETCHER PREFERRED AS A MATTER OF BEST PRACTICE AND UTILITY FOR THE COMMUNITY CENTER TENANT(S)
SECURITY FEATURES	KEY SWITCH FLOOR LOCKOUT	KEY SWITCH FLOOR LOCKOUT	FLOOR LOCK-OFFS
CAR ENCLOSURE FRAMING	STEEL WITH TAMPER PROOF EQUIP.	STEEL WITH TAMPER PROOF EQUIP.	STREEL WITH NON-REMOVABLE WALL PANELS
CAR, FRONT WALLS	STAINLESS STEEL WITH #4 FIN.	STAINLESS STEEL WITH #4 FIN.	STAINLESS STEEL WITH #4 FIN.
CAR- SIDE WALLS	STAINLESS STEEL WITH #4 FIN.	STAINLESS STEEL WITH #4 FIN.	BRONZE WITH STAINLESS FRAMES
CAR- BACK WALLS	STAINLESS STEEL WITH #4 FIN.	STAINLESS STEEL WITH #4 FIN.	BRONZE WITH STAINLESS FRAMES
HAND RAILS	STAINLESS STEEL	STAINLESS STEEL	STAINLESS STEEL
CAR, FLOOR	NON-SLIP EPOXY	NON-SLIP EPOXY	NON-SLIP EPOXY
CAR CEILING	S.S. WITH LED LIGHTING	WITH LED LIGHTING	WITH LED LIGHTING

SEE APPENDICES FOR ADDITIONAL VERTICAL TRANSPORT REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO:  
PER OWNER'S RFP, SPEED, CAPACITY AND PERFORMANCE BASED ON TRAFFIC FLOW IN GARAGE AND OCCUPANT LOAD. EXCEED MINIMUM SPEED AND CAPACITY LISTED ABOVE IF REQUIRED.  
SUSTAINABILITY AND ENERGY CONSIDERATIONS  
RELATED REQUIREMENTS FOR OTHER TRADES SUCH AS MECHANICAL, ELECTRICAL, TELECOM AND GENERAL CONSTRUCTION / ARCHITECTURAL DESIGN.

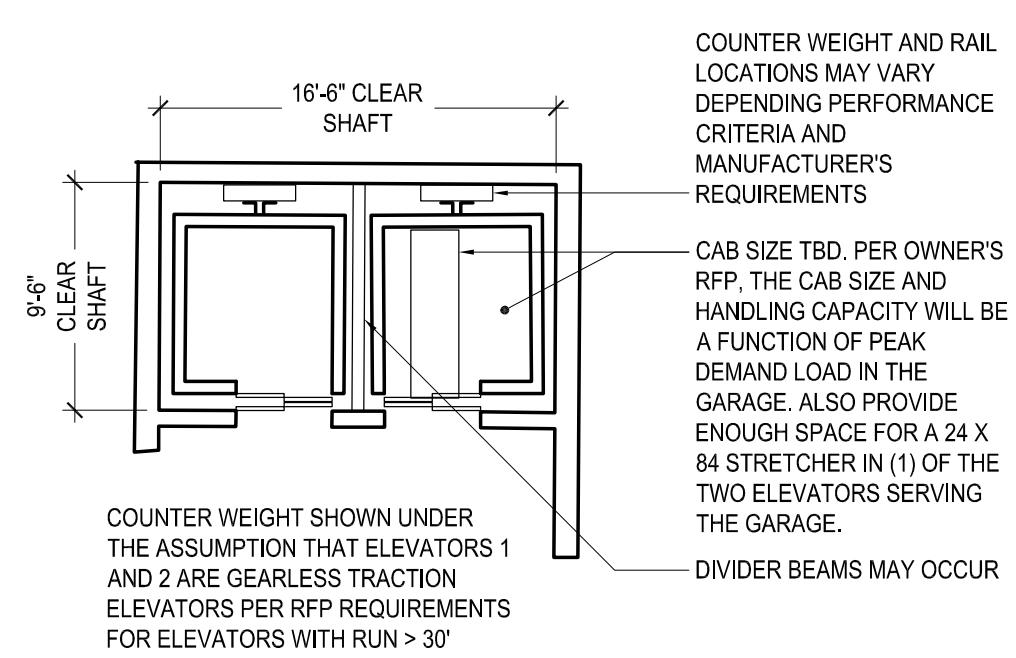


01 ELEVATOR 1 AND 2 SECTION DIAGRAM  
1/16" = 1'-0"

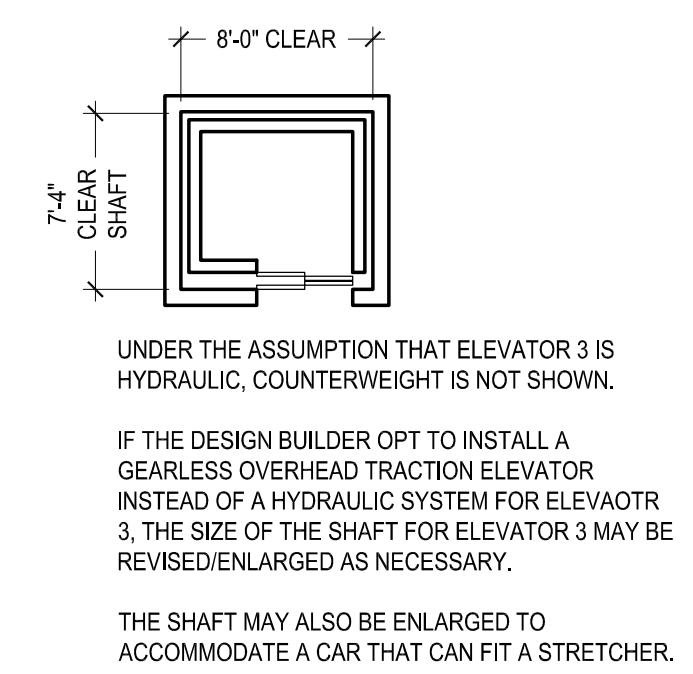


02 ELEVATOR 3 SECTION DIAGRAM  
1/16" = 1'-0"

PLANS NOTES:  
CLEAR DIMENSIONS FOR BOTH SHAFTS ARE SHOWN BASED ON THE DESIGN ARCHITECT'S CURRENT PLAN. PLEASE INFORM THE ARCHITECT IF ANY CHANGES TO THE SHAFT DIMENSIONS ARE REQUIRED IN ORDER TO MEET OWNERS PERFORMANCE CRITERIA, CURRENT CODE AND/OR ELEVATOR MANUFACTURER'S REQUIREMENTS.  
SHAFT PLAN DIAGRAMS HAVE BEEN ROTATED FOR THE PURPOSE OF THIS DRAWING.  
DOOR CONFIGURATIONS FOR ALL ELEVATORS MAY VARY FROM WHAT IS SHOWN HERE.



03 ELEVATOR 1 AND 2 SHAFT PLAN  
1/8" = 1'-0"



04 ELEVATOR 3 SHAFT PLAN  
1/8" = 1'-0"

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**TECHNICAL  
DRAWINGS**

REVISION	DESCRIPTION	DATE

KEY PLAN:  
  
DRAWING TITLE:  
**FOUNDATION  
PLAN**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**FO-100**  
DRAWING ORDER: 75 of 205

- NOTES**
- PROVIDE THE FOLLOWING CONCRETE STRENGTHS:  
SLAB ON GRADE 4 KSI  
GRADE BEAMS 5 KSI  
FOUNDATION WALLS 5 KSI  
CURBS 5 KSI  
FOOTINGS 8 KSI
  - CONCRETE EXPOSED TO DEICING SALTS TO RECEIVE DCI AT 2 GALLONS PER CUBIC YARD.

- LEGEND**
- BOF BOTTOM OF FOOTING
  - FW FOUNDATION WALL
  - GB GRADE BEAM
  - TOC TOP OF COLUMN
  - TOP TOP OF PIER
  - TOS TOP OF SLAB
  - TOW TOP OF WALL
  - TYP TYPICAL
  - WF WALL FOOTING

**SCHEDULE**  
ASSUME 150 PCY REINFORCING UNLESS OTHERWISE NOTED (###)

**COLUMNS**  
C1 2'-6"x2'-6"

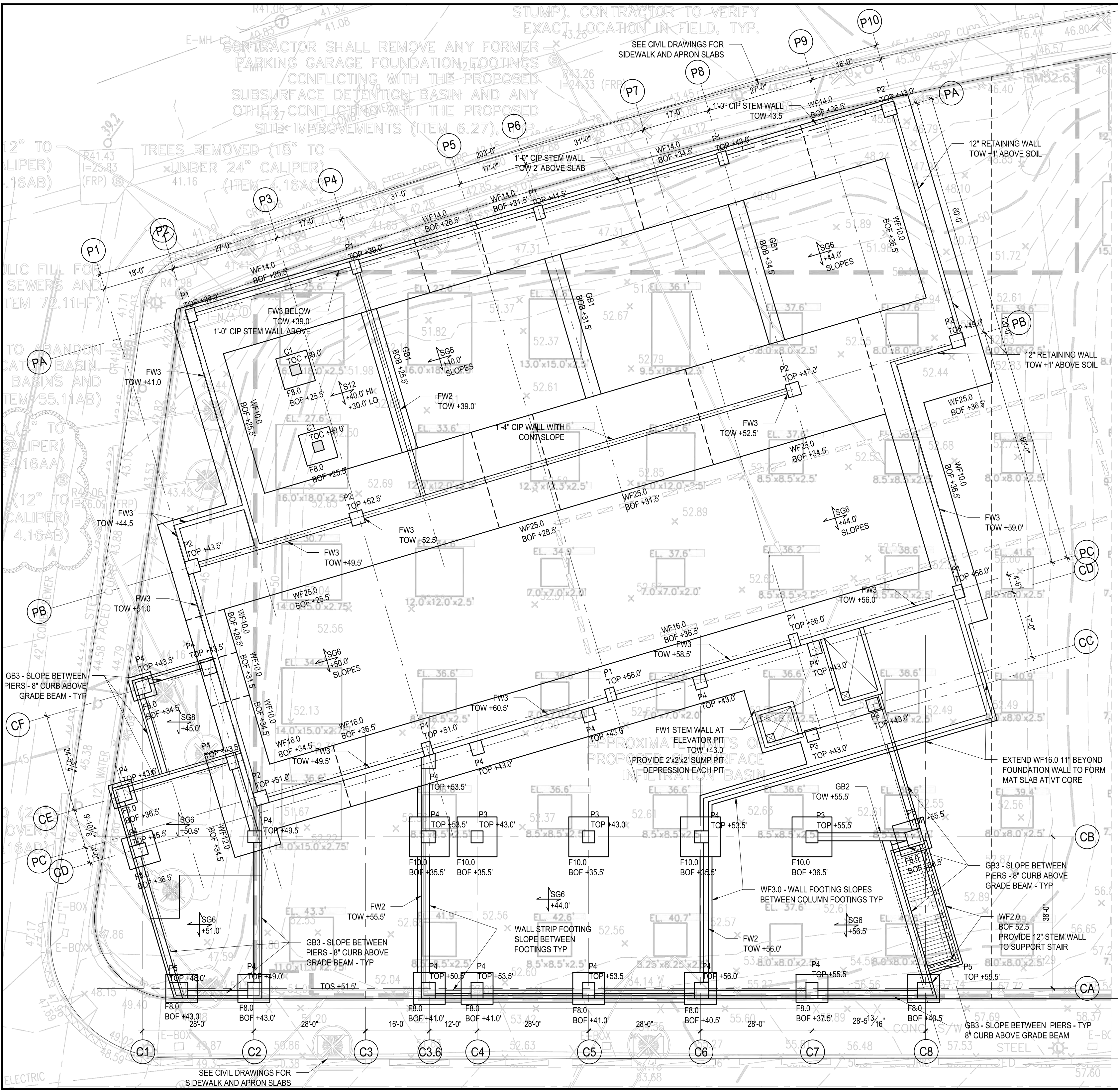
**FOOTINGS**  
F6.0 6'-0" x 6'-0" x 2'-0" DEEP  
F8.0 8'-0" x 8'-0" x 2'-4" DEEP  
F10.0 10'-0" x 10'-0" x 2'-6" DEEP

**FOUNDATION WALLS**  
FW1 12" THICK  
FW2 14" THICK  
FW3 16" THICK

**GRADE BEAMS**  
GB1 3'-0" DEEP x 4'-0" WIDE (200 PCY)  
GB2 3'-0" DEEP x 3'-0" WIDE  
GB3 3'-0" DEEP x 2'-0" WIDE

**PIERS**  
P1 2'-4"x3'-4"  
P2 3'-4"x3'-4"  
P3 3'-0"x3'-0"  
P4 4'-0"x3'-0"  
P5 4'-0"x4'-0"

**WALL FOOTINGS**  
WF3.0 3'-0" WIDE x 1'-6" DEEP  
WF10.0 10'-0" WIDE x 3'-0" DEEP (200 PCY)  
WF12.0 12'-0" WIDE x 3'-0" DEEP (200 PCY)  
WF14.0 14'-0" WIDE x 3'-0" DEEP (200 PCY)  
WF16.0 16'-0" WIDE x 3'-0" DEEP (200 PCY)  
WF25.0 25'-0" WIDE x 4'-0" DEEP (250 PCY)



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**TECHNICAL DRAWINGS**

KEY PLAN:

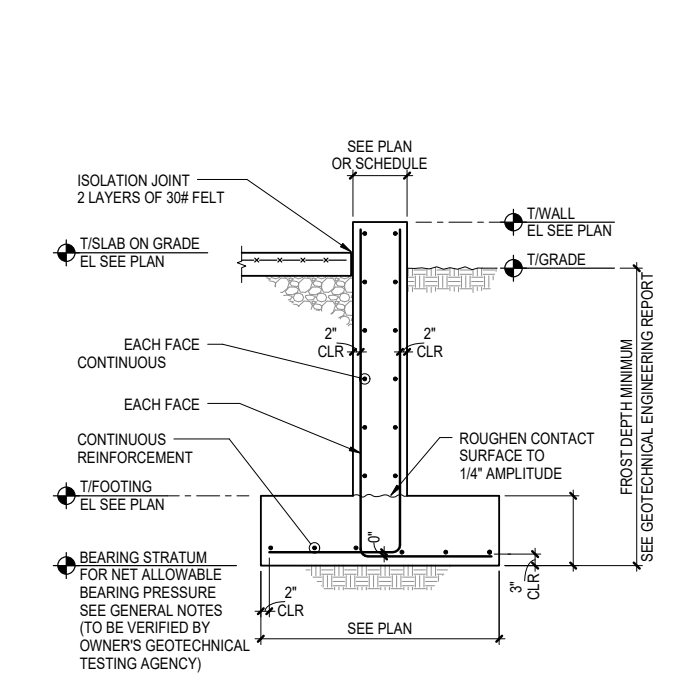


DRAWING TITLE:  
**TYPICAL FOUNDATION DETAILS**

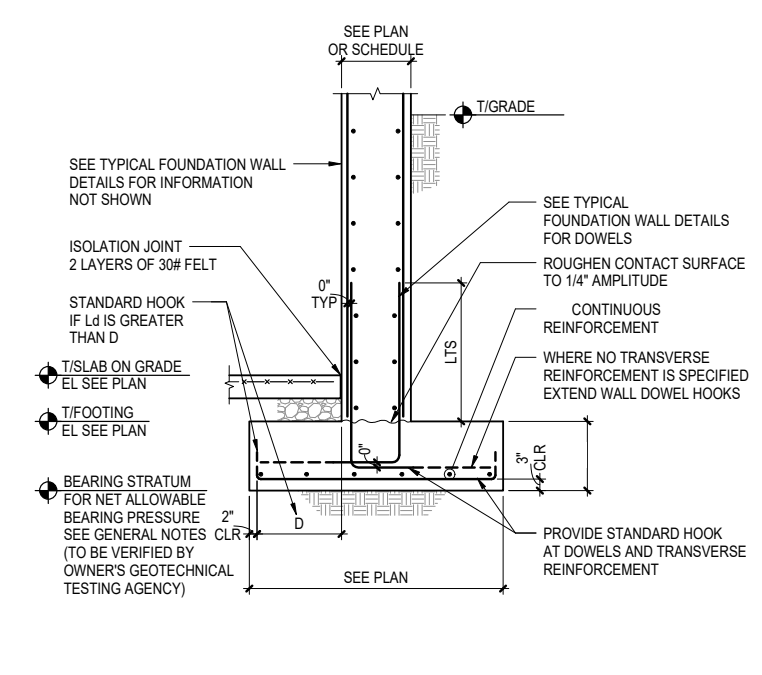
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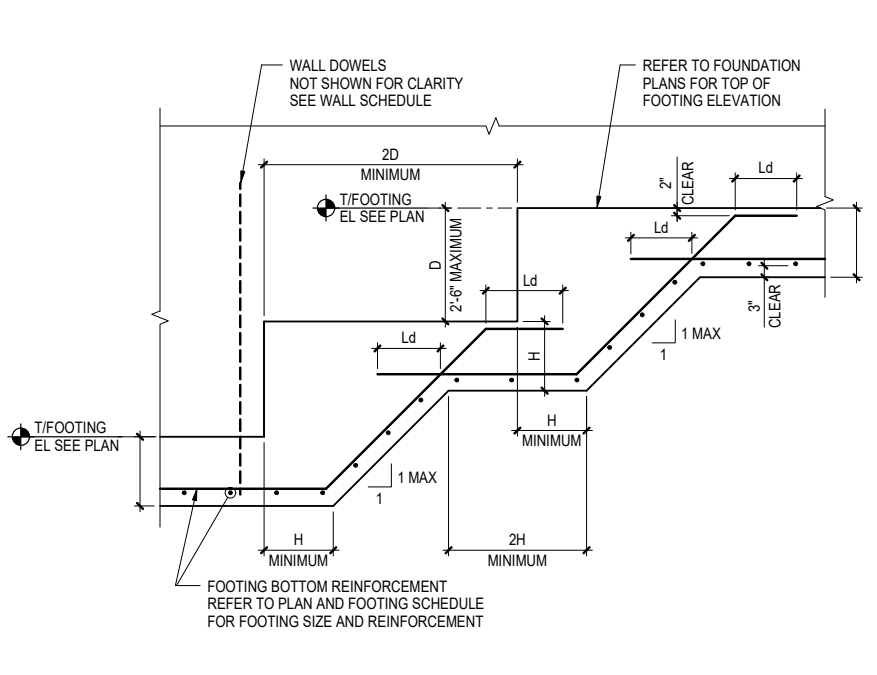
DRAWING NUMBER:  
**FO-201**  
DRAWING ORDER: 76 of 205



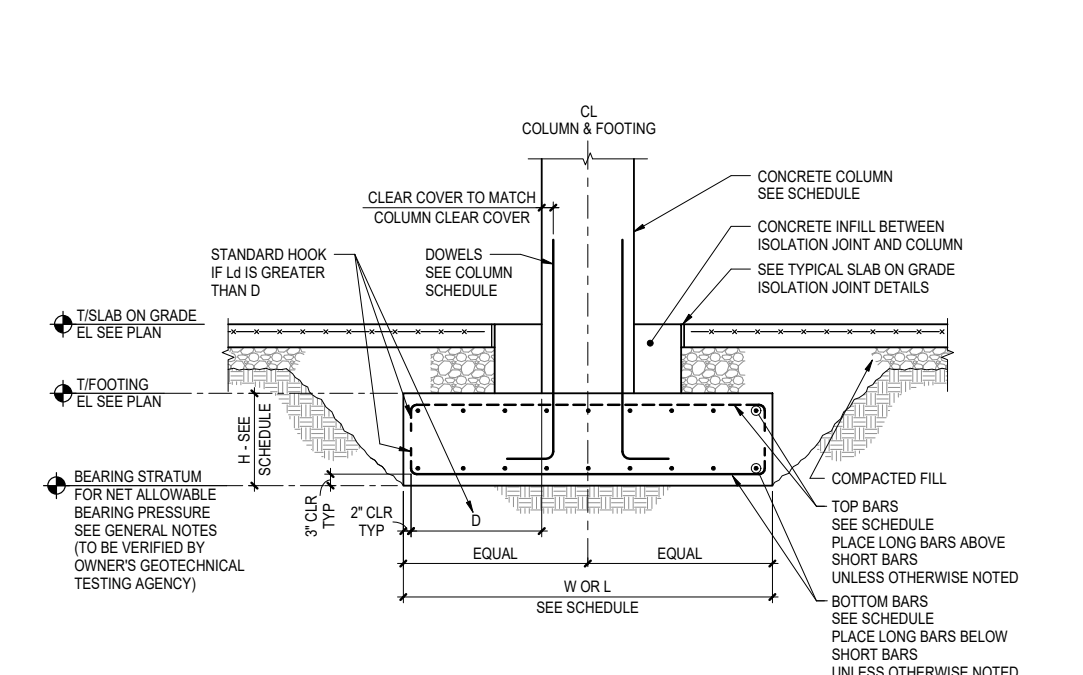
**1 TYPICAL CONTINUOUS FOOTING AT FROST WALL**  
NOT TO SCALE



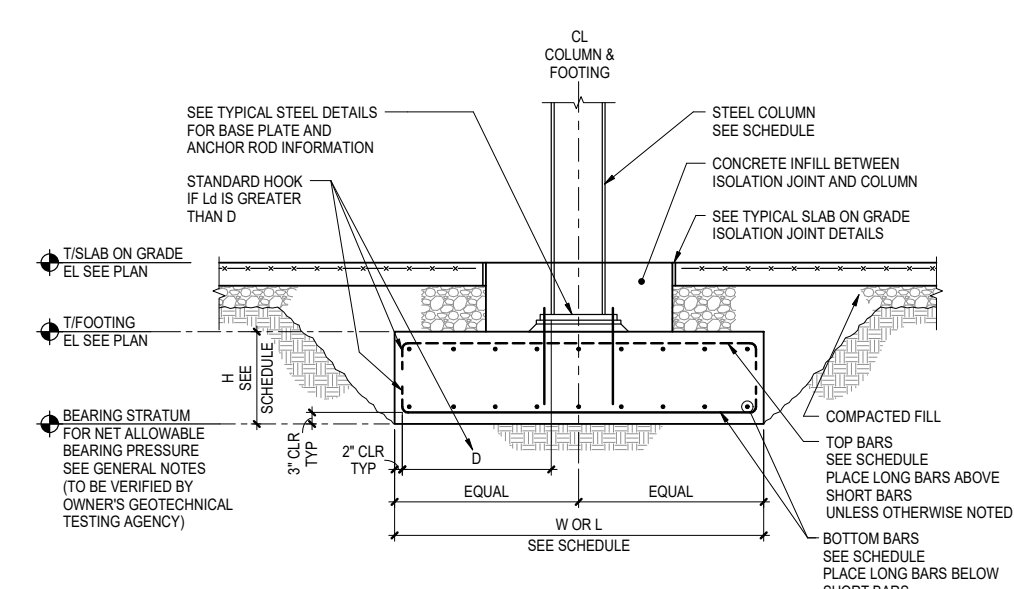
**2 TYPICAL CONTINUOUS FOOTING AT FOUNDATION WALL**  
NOT TO SCALE



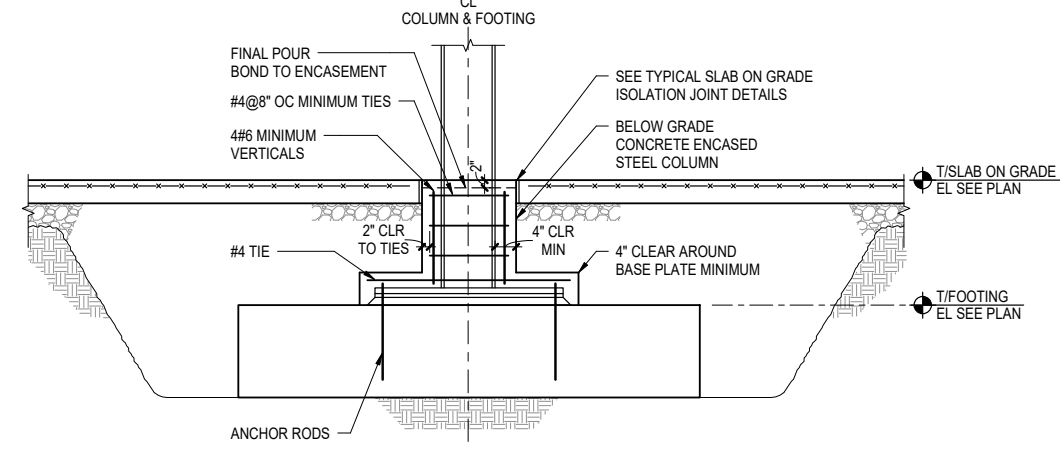
**3 TYPICAL STEPPED WALL FOOTING DETAIL**  
NOT TO SCALE



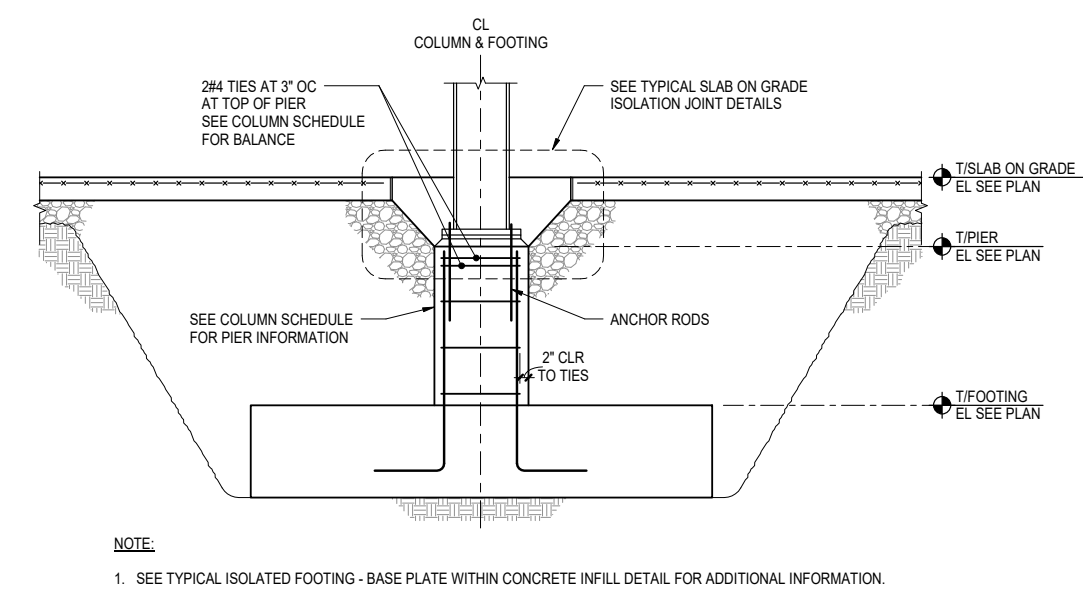
**4 TYPICAL ISOLATED FOOTING - CONCRETE COLUMN**  
NOT TO SCALE



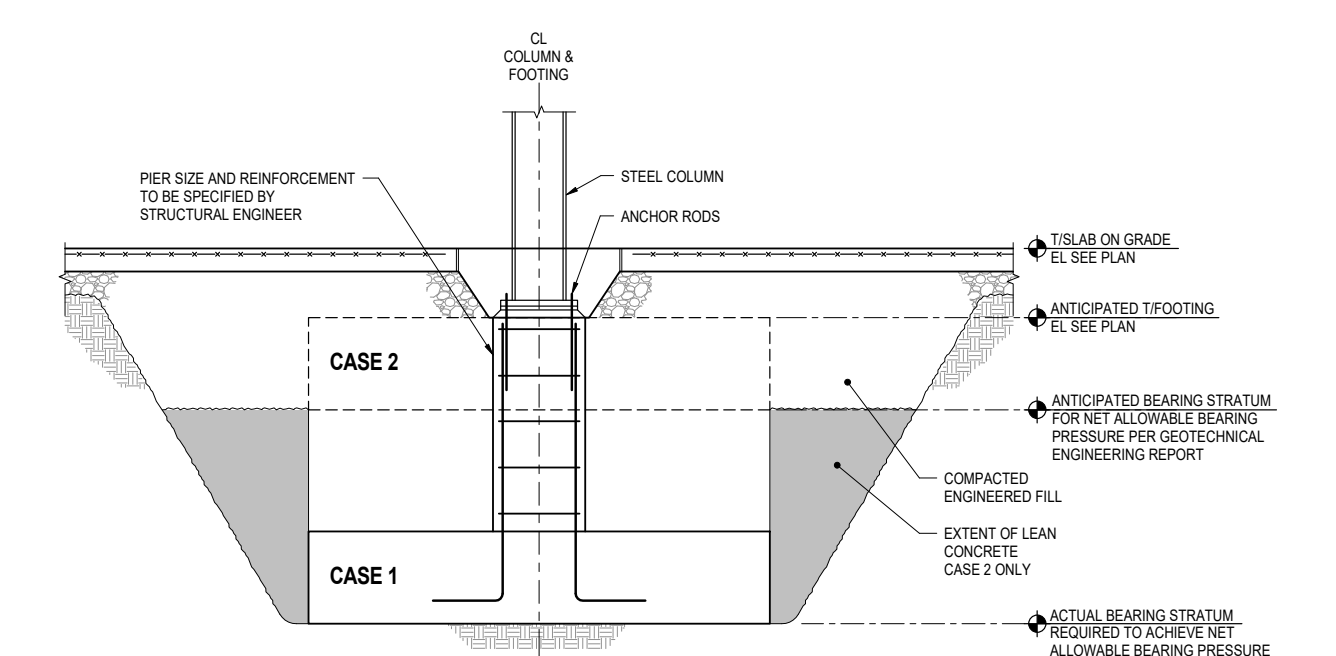
**5 TYPICAL ISOLATED FOOTING - BASE PLATE WITHIN CONCRETE INFILL**  
NOT TO SCALE



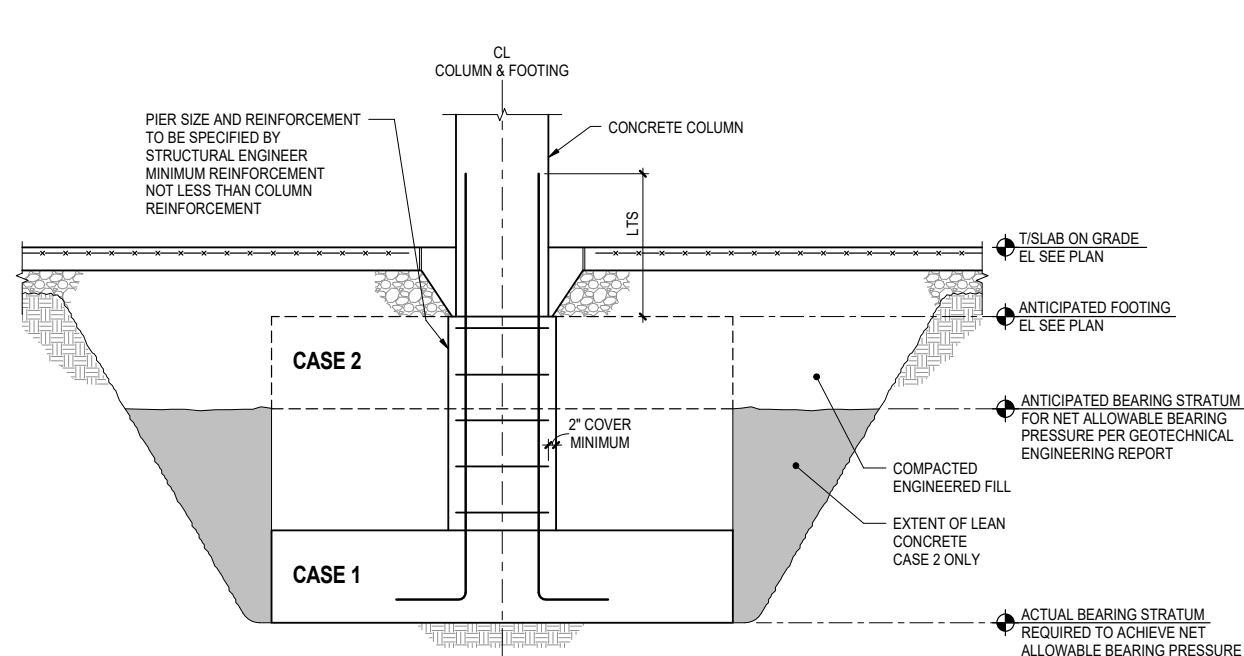
**6 TYPICAL ISOLATED FOOTING - CONCRETE ENCASED COLUMN AND BASE PLATE**  
NOT TO SCALE



**7 TYPICAL PIER ON ISOLATED FOOTING**  
NOT TO SCALE



**8 TYPICAL FOOTING DETAIL WHERE OVER-EXCAVATION IS REQUIRED DUE TO UNANTICIPATED SOIL CONDITIONS - STEEL COLUMN**  
NOT TO SCALE



**9 TYPICAL FOOTING DETAIL WHERE OVER-EXCAVATION IS REQUIRED DUE TO UNANTICIPATED SOIL CONDITIONS - CONCRETE COLUMN**  
NOT TO SCALE

**DESIGN LOADS**

**APPLICABLE CODES**

- 2014 NEW YORK CITY BUILDING CODE
- 2014 AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS
- ACI 318-11 AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

**FLOOR DESIGN LOADS**

- COMMUNITY CENTER
  - FLOOR FINISH 10 PSF
  - HUNG MECHANICAL 5 PSF
  - HUNG CEILINGS 5 PSF
  - LIVE LOAD 100 PSF
- MEP ROOMS
  - TOPPING SLAB 40 PSF
  - HUNG MECHANICAL 15 PSF
  - LIVE LOAD 150 PSF
- ROOF
  - FLOOR FINISHES 5 PSF
  - HUNG MECHANICAL 5 PSF
  - ROOFING 15 PSF
  - LIVE LOAD 20 PSF (TYP), 100 PSF (FOR ACCESSIBLE ROOFS)
- GARAGE
  - MEP ALLOWANCE 5 PSF
  - LIVE LOAD 40 PSF
  - STAIRS & LOBBY 100 PSF

**SNOW LOADS**

- GROUND SNOW LOAD (Pg) 25 PSF
- EXPOSURE FACTOR (Ce) 0.9
- THERMAL FACTOR (Ct) 1.0
- IMPORTANCE FACTOR (Ic) 1.10
- FLAT-ROOF SNOW LOAD (ps) 24 PSF
- DRIFT PER ASCE-7

**WIND LOADS**

- BASIC WIND SPEED (V) 98 MPH
- EXPOSURE CATEGORY C
- IMPORTANCE FACTOR (Iw) 1.0
- DIRECTIONALITY FACTOR (Kd) 0.85
- TOPOGRAPHIC FACTOR (Kzt) 1.0

**SEISMIC**

- SITE CLASS D
- SEISMIC DESIGN CATEGORY B
- Ss 0.291
- S1 0.073
- PERIOD (T) 6 SECONDS
- ALL STRUCTURAL ELEMENTS, AT A MINIMUM, SHALL BE DESIGNED AND CONSTRUCTED TO RESIST THE EFFECTS OF SEISMIC GROUND MOTIONS AS PER THE NEW YORK CITY BUILDING CODE.

**STABILITY**

- DEAD LOAD + PERMANENT ANCHORAGE = 1.5 x OVERTURNING
- DEAD LOAD + PERMANENT ANCHORAGE = 1.5 x SLIDING

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**TECHNICAL DRAWINGS**

KEY PLAN:

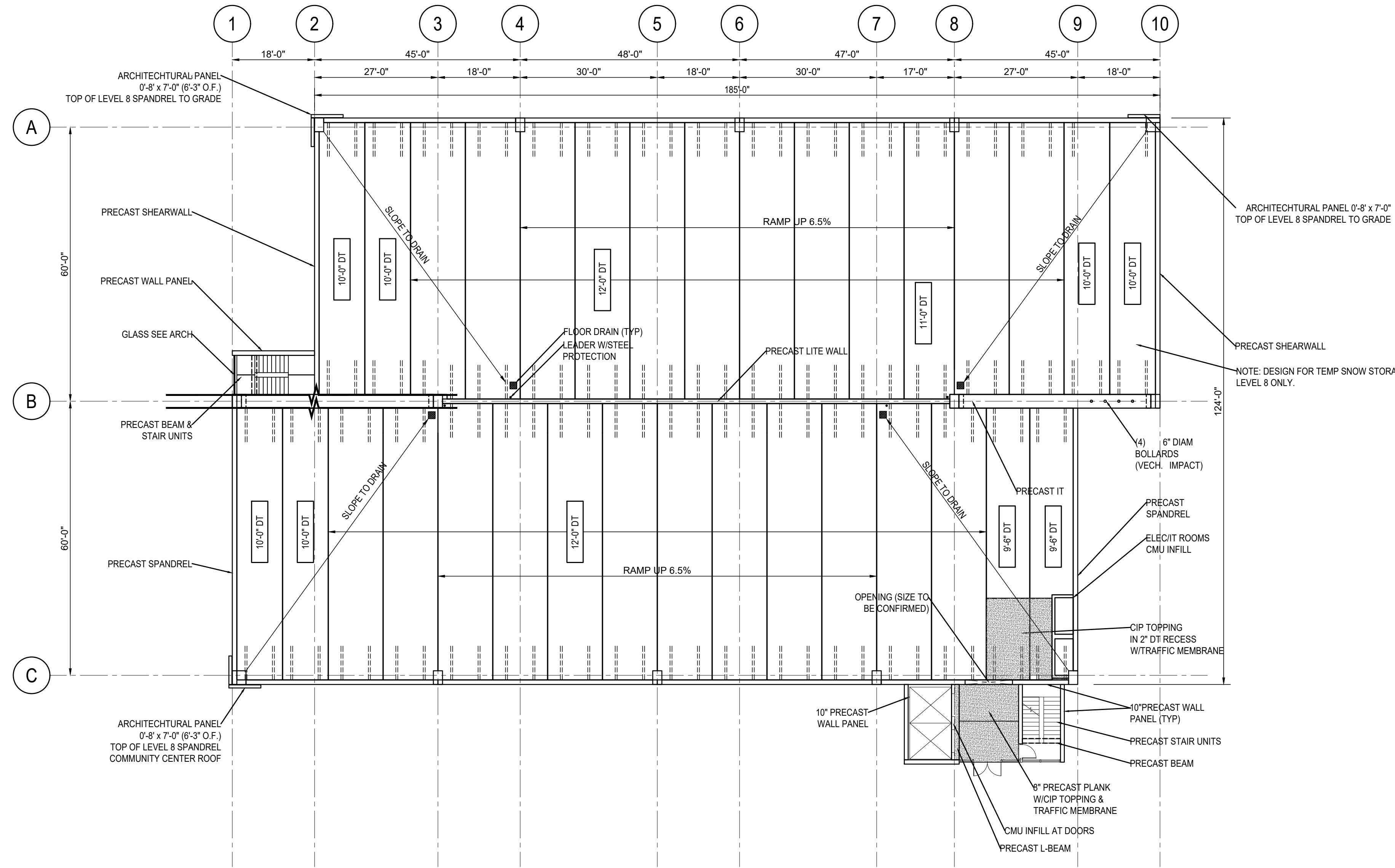


DRAWING TITLE:  
**TYP PRECAST FRAMING PLAN FOR GARAGE**

SCALE: 1/16"=1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

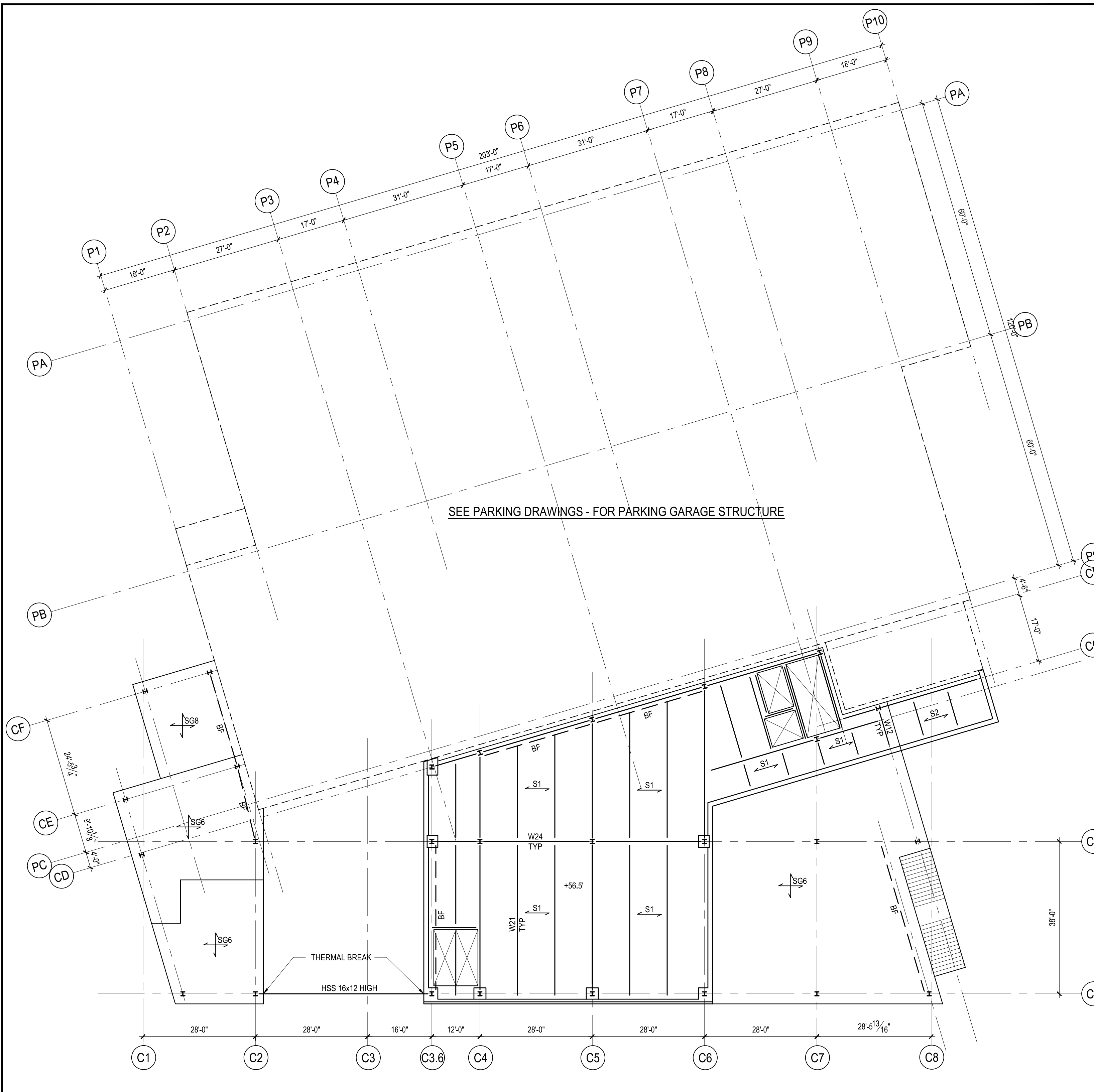
DRAWING NUMBER:  
**S-100**  
DRAWING ORDER: 77 of 205



NOTE: DESIGN FOR TEMP SNOW STORAGE. LEVEL 8 ONLY.

**PRECAST NOTES:**  
 1. FABRICATOR MUST BE PCI CERTIFIED GROUP C OR CA, CATEGORY C3/C3A.  
 2. ERECTOR MUST BE PCI CERTIFIED CATEGORY S2 COMPLEX STRUCTURAL SYSTEMS FOR LOAD-BEARING MEMBERS.  
 3. UNLESS NOTED OTHERWISE ALL CONNECTIONS SHALL BE STAINLESS STEEL. FULLY EMBEDDED CONNECTIONS MAY BE PRESENTED AS AN ALTERNATE MATERIAL FOR APPROVAL BY EOR.  
 4. ALL HORIZONTAL EDGES MUST HAVE 1/4" CHAMFER OR RADIUS PER PCI STANDARD.  
 5. CONCRETE MIX:  
 A. COMPRESSIVE STRENGTH: 5000 PSI MINIMUM AT 28 DAYS.  
 B. RELEASE STRENGTH: 3500 PSI MINIMUM OR HIGHER IF REQUIRED BY DESIGN.  
 C. MAXIMUM WATER/CEMENT RATIO: 0.45  
 D. CORROSION INHIBITING ADMIXTURE: ASTM C 1582/C 1582M, DOSAGE OF 3 GAL/CUBIC YARD.

**6. FINISHES**  
 A. STANDARD GRADE: DOUBLE TEES, INTERIOR SHEARWALLS, LITEWALLS, INVERTED TEE BEAMS, L BEAMS.  
 B. GRADE B FINISH: COLUMNS, SPANDRELS, COLUMN COVERS, EXTERIOR SHEARWALLS, ALL EXPOSED WALL PANELS  
 C. ALL HORIZONTAL SURFACES TO HAVE BROOM FINISH.  
**7. PRECAST DESIGN:**  
 A. SPECIALTY DESIGN COMPLETED BY STRUCTURAL ENGINEER REGISTERED IN THE STATE OF NY.  
 B. DESIGN MUST COMPLY WITH STRUCTURAL INTEGRITY REQUIREMENTS OF THE NYC BUILDING CODE (CHAPTER 19)



- NOTES**
- ALL STEEL & DECK TO BE RECEIVE 2 HOURS SPRAY FIRE PROOFING
  - ALL EXTERIOR METAL DECK TO BE G90
  - ALL EXTERIOR STEEL TO RECEIVE CEMENTICIOUS FIREPROOFING
  - PROVIDE MINIMUM (1) 3/4" DIAMETER x 4 1/2" HIGH STUD PER FOOT
  - PROVIDE DECK PLATES AT ALL SLAB EDGES
  - PROVIDE TUBES FOR INTERMEDIATE RAIL SUPPORT AT ELEVATOR
  - ALL COLUMNS W12's UNLESS NOTED OTHERWISE - NO SPLICE EXCEPT AT CELLAR
  - ALL CONCRETE TO BE 4KSI NORMAL WEIGHT CONCRETE UNLESS OTHERWISE NOTED
  - CONCRETE EXPOSED TO DEICING SALTS TO RECEIVE DCI AT 2 GALLONS PER CUBIC YARD

- LEGEND**
- SG6 6" SLAB ON GRADE WITH 5 LBS PER CUBIC FOOT MACRO FIBERS - PROVIDE CONTROL JOINTS AT 15' OC MAX, CENTER ON COLUMNS
  - SG8 8" SLAB ON GRADE WITH 5 LBS PER CUBIC FOOT MACRO FIBERS - #4@12" OC MESH TOP & BOTTOM EACH WAY
  - S1 2 1/2" NORMAL WEIGHT CONCRETE ON 3" 18 GAUGE METAL DECK - PROVIDE 5 LBS PER CUBIC FOOT MACRO FIBERS AND 4X4-W2.9XW2.9 WWR
  - S2 SAME AS S1 WITH MINIMUM 2 1/2" NORMAL WEIGHT CONCRETE - DECK SLOPED TO DRAIN - SLAB AND STEEL DEPRESSED 12" FOR PAVER BUILD UP
  - R1 3" TYPE N 20 GAUGE ROOF DECK
  - BF BRACED FRAME



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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ  
**QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

KEY PLAN:

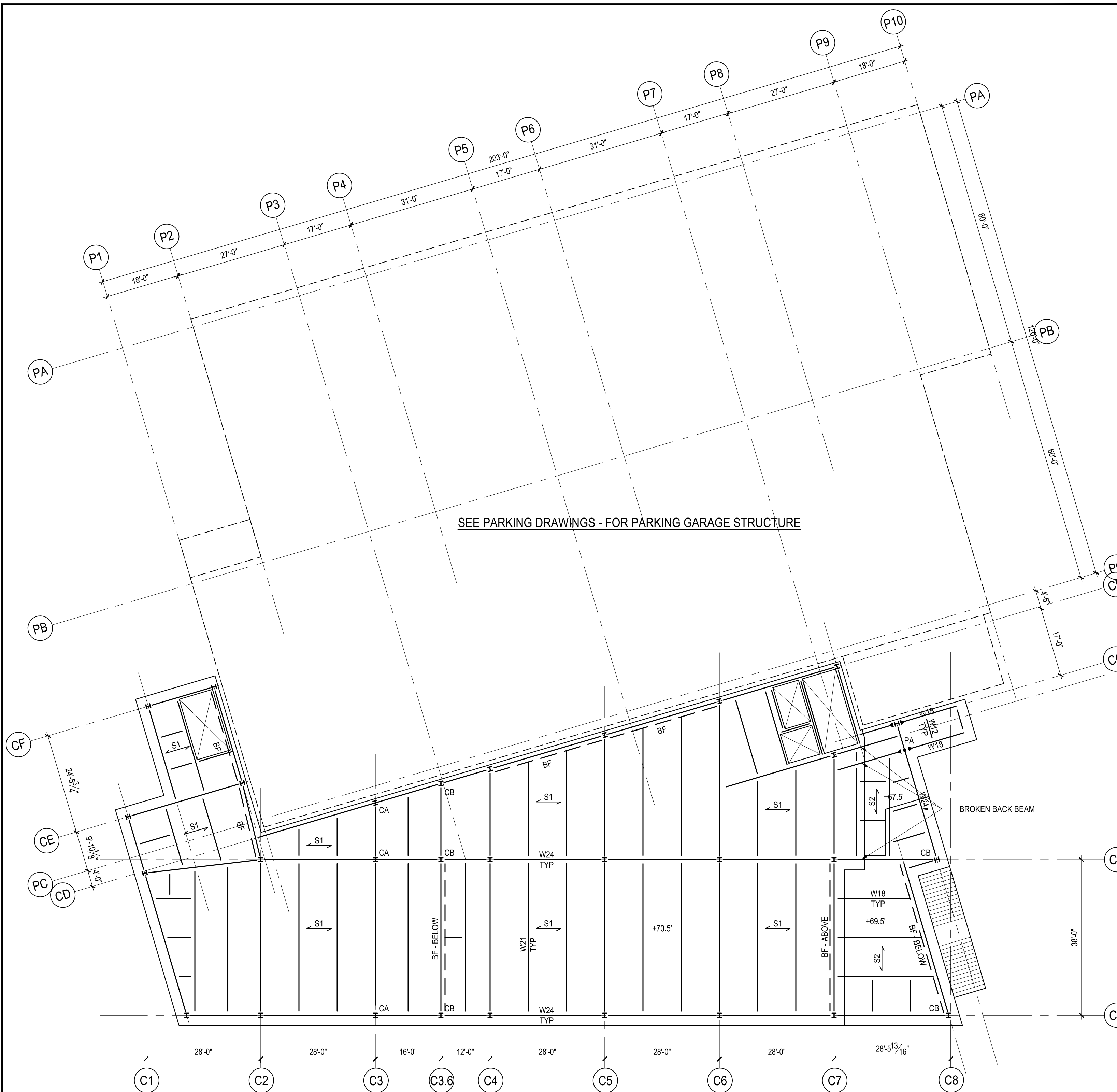
PROJECT NORTH

DRAWING TITLE:  
**COMMUNITY CENTER  
1ST FLOOR  
FRAMING PLAN**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**S-101**  
DRAWING ORDER: 78 of 205



- NOTES**
1. ALL STEEL & DECK TO BE RECEIVE 2 HOURS SPRAY FIRE PROOFING
  2. ALL EXTERIOR METAL DECK TO BE G90
  3. ALL EXTERIOR STEEL TO RECEIVE CEMENTICIOUS FIREPROOFING
  4. PROVIDE MINIMUM (1) 3/4" DIAMETER x 4 1/2" HIGH STUD PER FOOT
  5. PROVIDE DECK PLATES AT ALL SLAB EDGES
  6. PROVIDE TUBES FOR INTERMEDIATE RAIL SUPPORT AT ELEVATOR
  7. ALL COLUMNS W12's UNLESS NOTED OTHERWISE - NO SPLICE EXCEPT AT CELLAR
  8. ALL CONCRETE TO BE 4KSI NORMAL WEIGHT CONCRETE UNLESS OTHERWISE NOTED
  9. CONCRETE EXPOSED TO DEICING SALTS TO RECEIVE DCI AT 2 GALLONS PER CUBIC YARD

- LEGEND**
- SG6 6" SLAB ON GRADE WITH 5 LBS PER CUBIC FOOT MACRO FIBERS - PROVIDE CONTROL JOINTS AT 15' OC MAX, CENTER ON COLUMNS
  - SG8 8" SLAB ON GRADE WITH 5 LBS PER CUBIC FOOT MACRO FIBERS - #4@12" OC MESH TOP & BOTTOM EACH WAY
  - S1 2 1/2" NORMAL WEIGHT CONCRETE ON 3" 18 GAUGE METAL DECK - PROVIDE 5 LBS PER CUBIC FOOT MACRO FIBERS AND 4X4-W2.9XW2.9 WWR
  - S2 SAME AS S1 WITH MINIMUM 2 1/2" NORMAL WEIGHT CONCRETE - DECK SLOPED TO DRAIN - SLAB AND STEEL DEPRESSED 12" FOR PAVER BUILD UP
  - R1 3" TYPE N 20 GAUGE ROOF DECK
  - BF BRACED FRAME



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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ  
QUEENS GARAGE &  
COMMUNITY SPACE**

80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL  
DRAWINGS**

KEY PLAN:

PROJECT NORTH

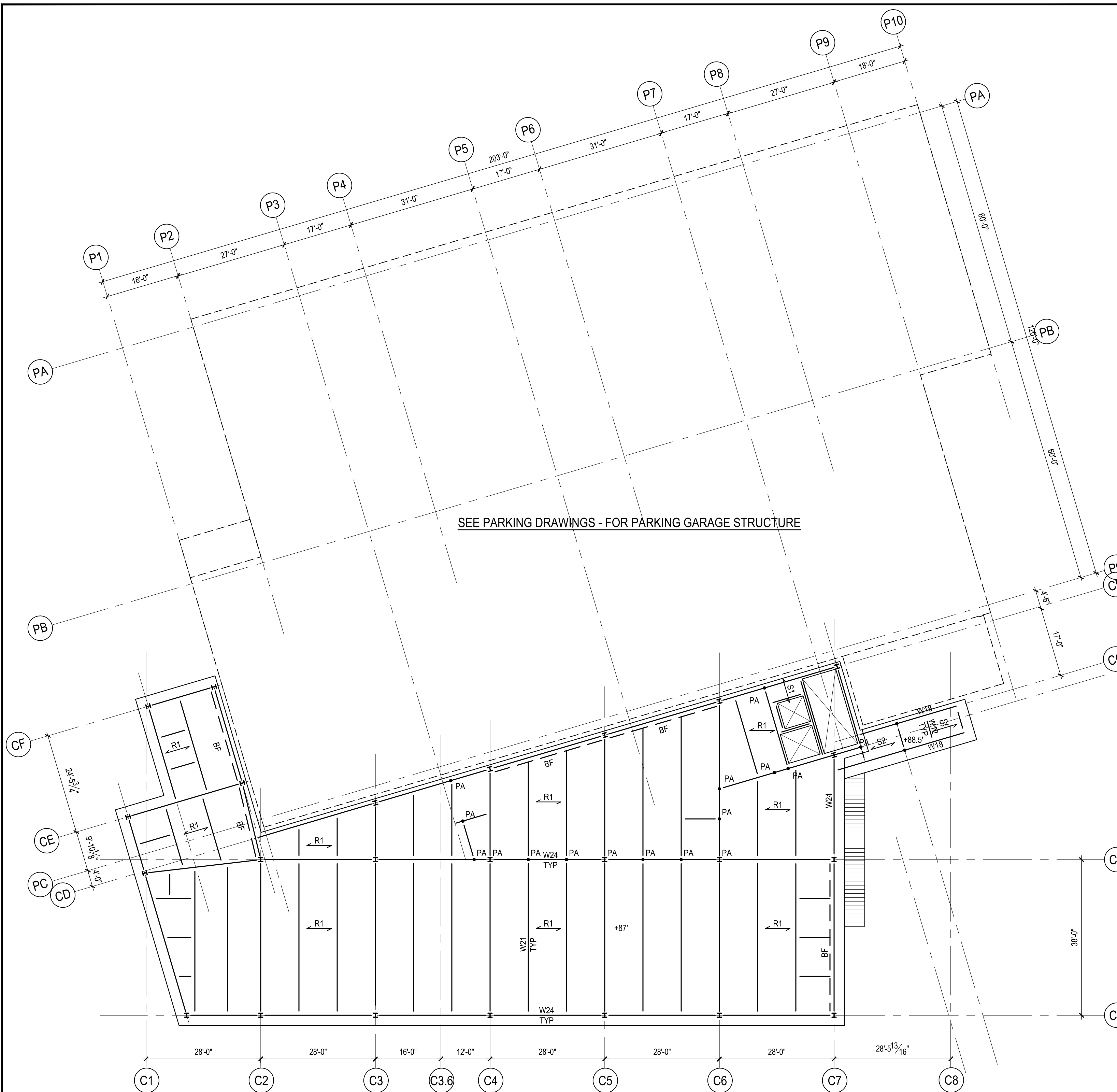
DRAWING TITLE:  
**COMMUNITY  
CENTER  
2ND FLOOR  
FRAMING PLAN**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**S-102**

DRAWING ORDER: 79 of 205



- NOTES**
- ALL STEEL & DECK TO BE RECEIVE 2 HOURS SPRAY FIRE PROOFING
  - ALL EXTERIOR METAL DECK TO BE G90
  - ALL EXTERIOR STEEL TO RECEIVE CEMENTICIOUS FIREPROOFING
  - PROVIDE MINIMUM (1) 3/4" DIAMETER x 4 1/2" HIGH STUD PER FOOT
  - PROVIDE DECK PLATES AT ALL SLAB EDGES
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- LEGEND**
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  - S1 2 1/2" NORMAL WEIGHT CONCRETE ON 3" 18 GAUGE METAL DECK - PROVIDE 5 LBS PER CUBIC FOOT MACRO FIBERS AND 4X4-W2.9XW2.9 WWR
  - S2 SAME AS S1 WITH MINIMUM 2 1/2" NORMAL WEIGHT CONCRETE - DECK SLOPED TO DRAIN - SLAB AND STEEL DEPRESSED 12" FOR PAVER BUILD UP
  - R1 3" TYPE N 20 GAUGE ROOF DECK
  - BF BRACED FRAME



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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ  
**QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

KEY PLAN:

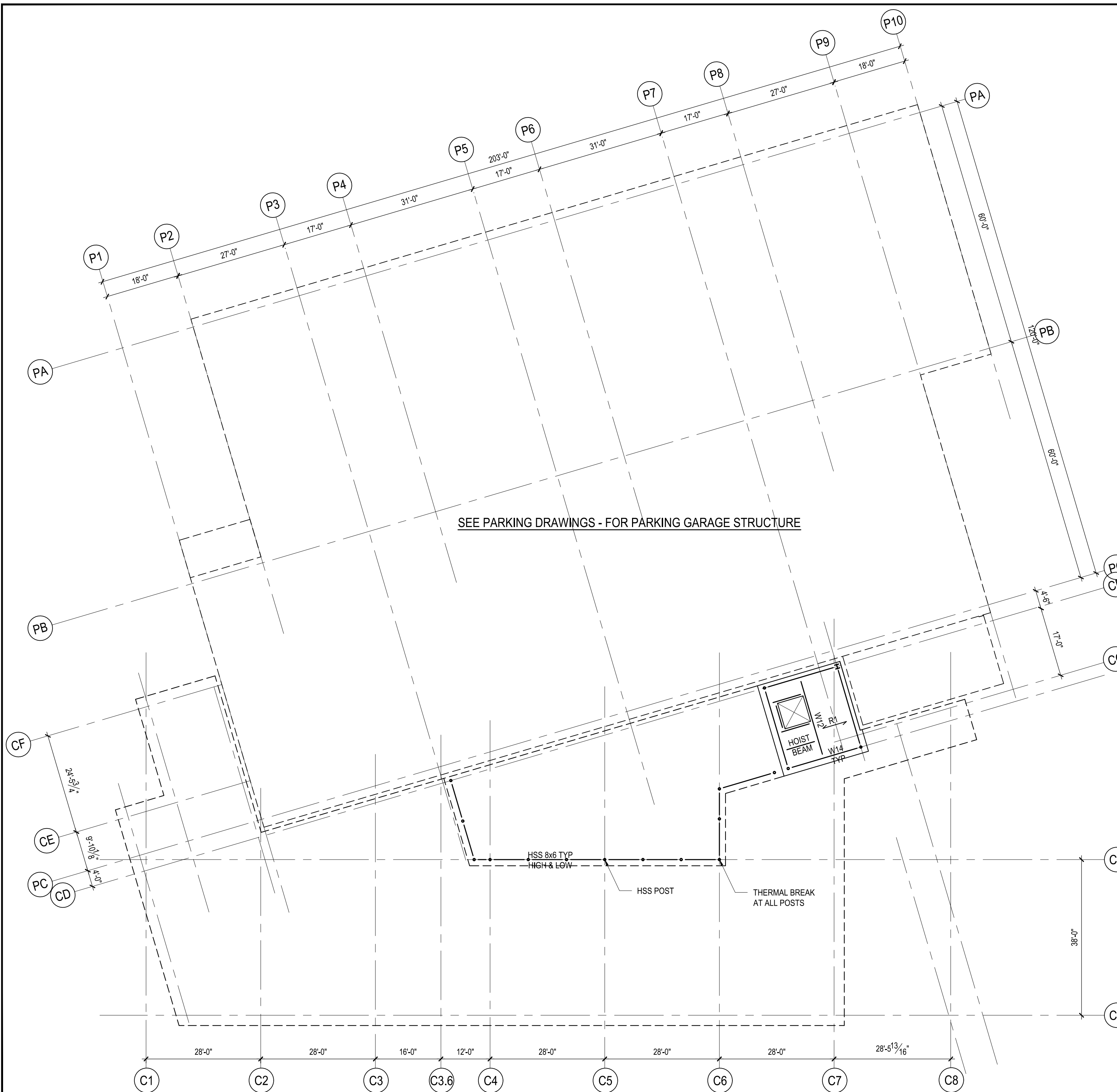
PROJECT NORTH

DRAWING TITLE:  
**COMMUNITY CENTER ROOF FRAMING PLAN**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**S-103**  
DRAWING ORDER: 80 of 205



- NOTES**
- ALL STEEL & DECK TO BE RECEIVE 2 HOURS SPRAY FIRE PROOFING
  - ALL EXTERIOR METAL DECK TO BE G90
  - ALL EXTERIOR STEEL TO RECEIVE CEMENTICIOUS FIREPROOFING
  - PROVIDE MINIMUM (1) 3/4" DIAMETER x 4 1/2" HIGH STUD PER FOOT
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- LEGEND**
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  - S1 2 1/2" NORMAL WEIGHT CONCRETE ON 3" 18 GAUGE METAL DECK - PROVIDE 5 LBS PER CUBIC FOOT MACRO FIBERS AND 4X4-W2.9XW2.9 WWR
  - S2 SAME AS S1 WITH MINIMUM 2 1/2" NORMAL WEIGHT CONCRETE - DECK SLOPED TO DRAIN - SLAB AND STEEL DEPRESSED 12" FOR PAVER BUILD UP
  - R1 3" TYPE N 20 GAUGE ROOF DECK
  - BF BRACED FRAME



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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ  
**QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

KEY PLAN:

PROJECT NORTH

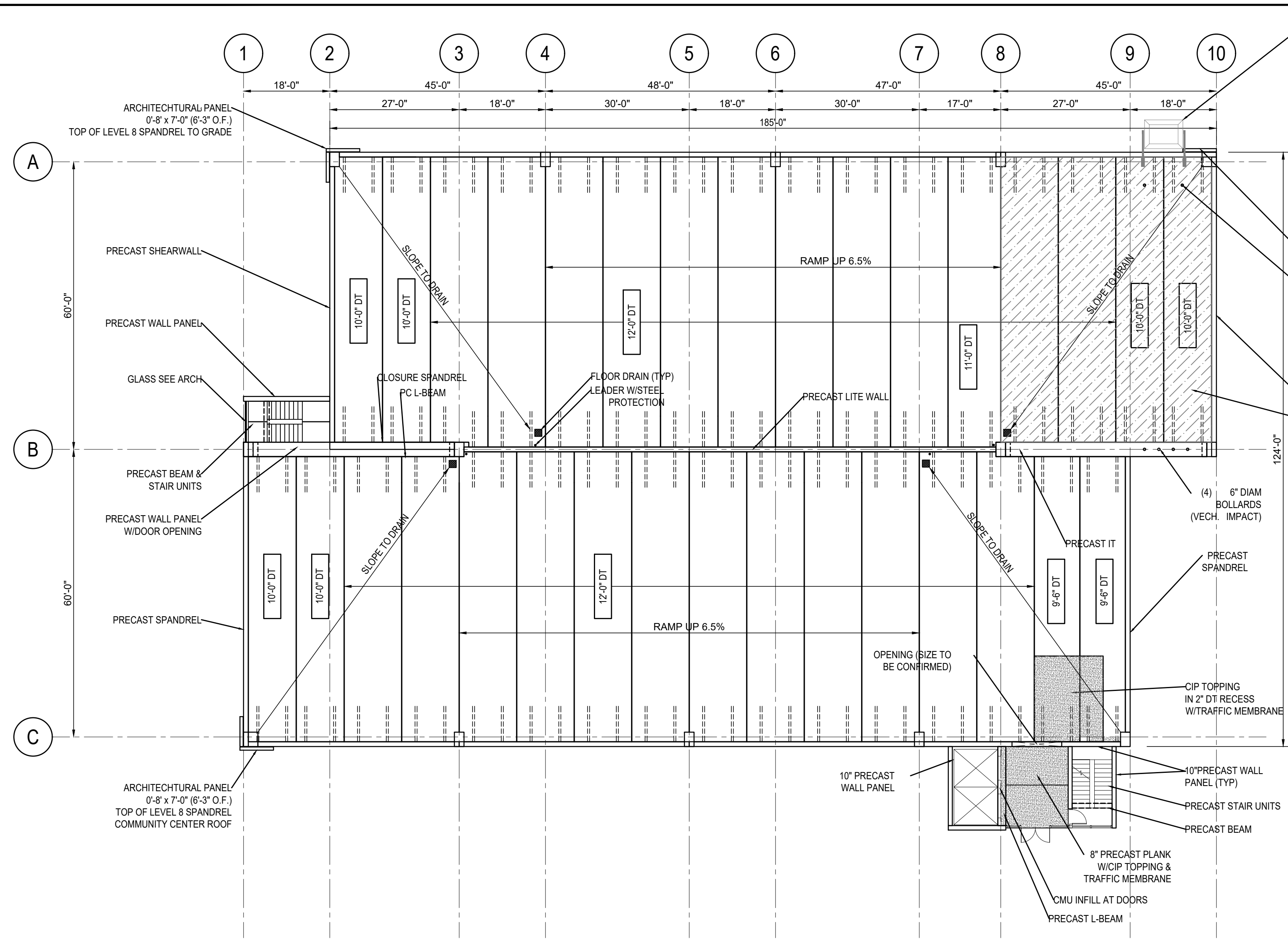
DRAWING TITLE:  
**COMMUNITY CENTER BULKHEAD FRAMING PLAN**

SCALE: 1/16" = 1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**S-104**  
DRAWING ORDER: 81 of 205





SNOW CHUTE BY SNOW REMOVAL VENDOR. LOADS TO BE COORDINATED WITH PRECAST SUPPLIER

SNOW CHUTE NOTES:

1. PROVIDE LATERAL TIES TO SPANDRELS AT EVEN NUMBERED LEVELS.
2. PROVIDE BOTTOM CRADLE AT LEVEL 1.
3. TRUCKS FOR SNOW REMOVAL WILL PARK IN EXIT LANE OF 132ND ST ENTRANCE.
4. PROVIDE A SWEEP AT LEVEL 1 TO AVOID SIGNAGE AND ROLL-UP GATES.

ARCHITECTURAL PANEL 0'-8" x 7'-0" TOP OF LEVEL 8 SPANDREL TO GRADE

(2) BOLLARDS AT LEVEL 8 TO PROTECT SNOW CHUTE EQUIPMENT

NOTE: DESIGN FOR TEMP SNOW STORAGE. LEVEL 8 ONLY.



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REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ  
**QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

KEY PLAN:

PROJECT NORTH

DRAWING TITLE:  
**GARAGE EIGHTH FLOOR FRAMING PLAN**

SCALE: 1/16"=1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**S-105**  
DRAWING ORDER: 82 of 205

REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ  
**QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

KEY PLAN:

PROJECT NORTH



DRAWING TITLE:  
**GARAGE ROOF FRAMING PLAN**

SCALE: 1/16"=1'-0" DATE: SEPTEMBER 18, 2020

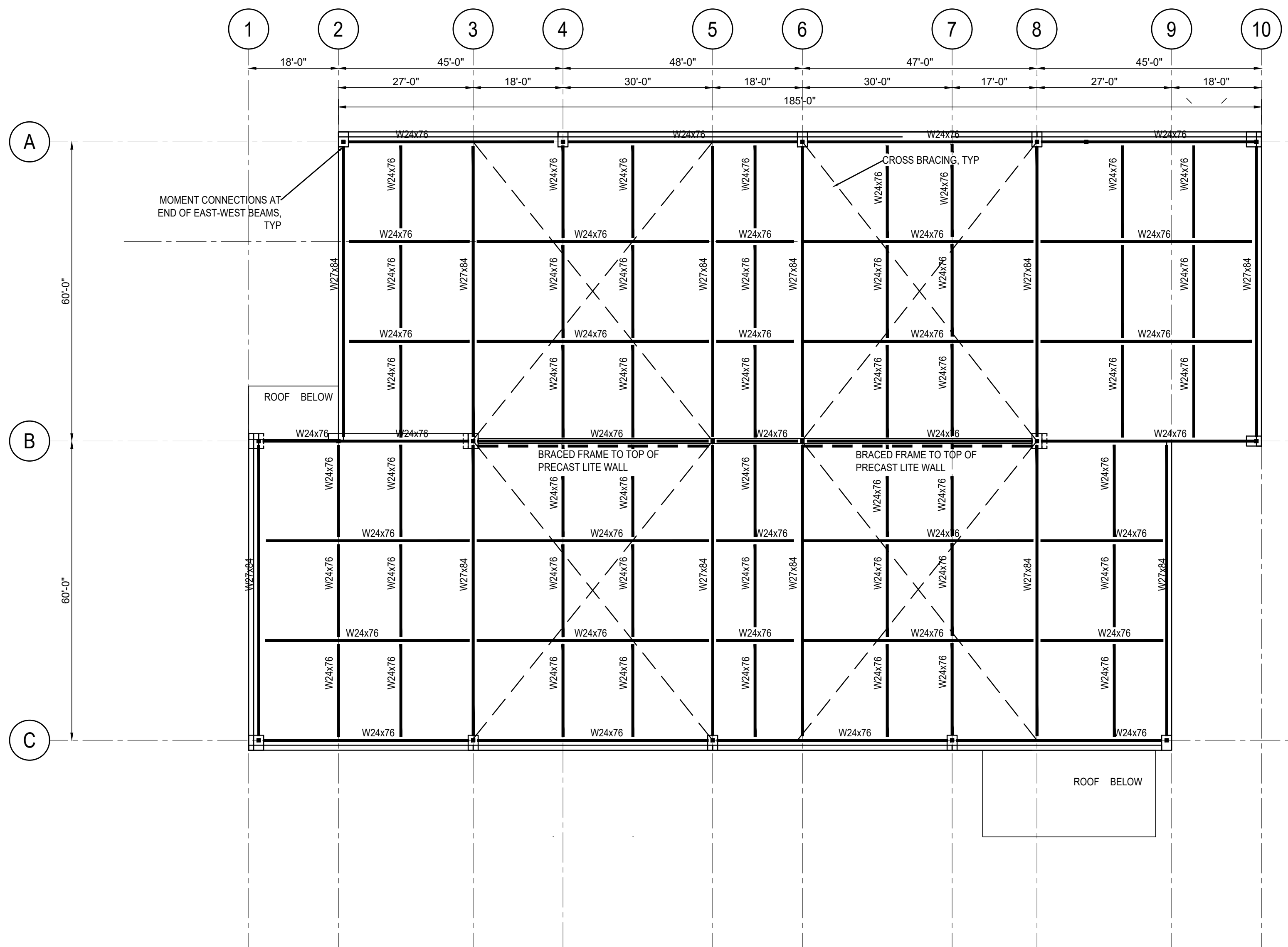
SEAL:

DRAWING NUMBER:

**S-106**

DRAWING ORDER:

83 of 205



NOTES:

1. DUNNAGE AND CONNECTION OF PV PANELS BY PV PANEL SUPPLIER
2. ALL STEEL TO BE HOT DIP GALVANIZED



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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ  
QUEENS GARAGE &  
COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL  
DRAWINGS**

KEY PLAN:

DRAWING TITLE:  
**GARAGE NORTH  
ELEVATION**

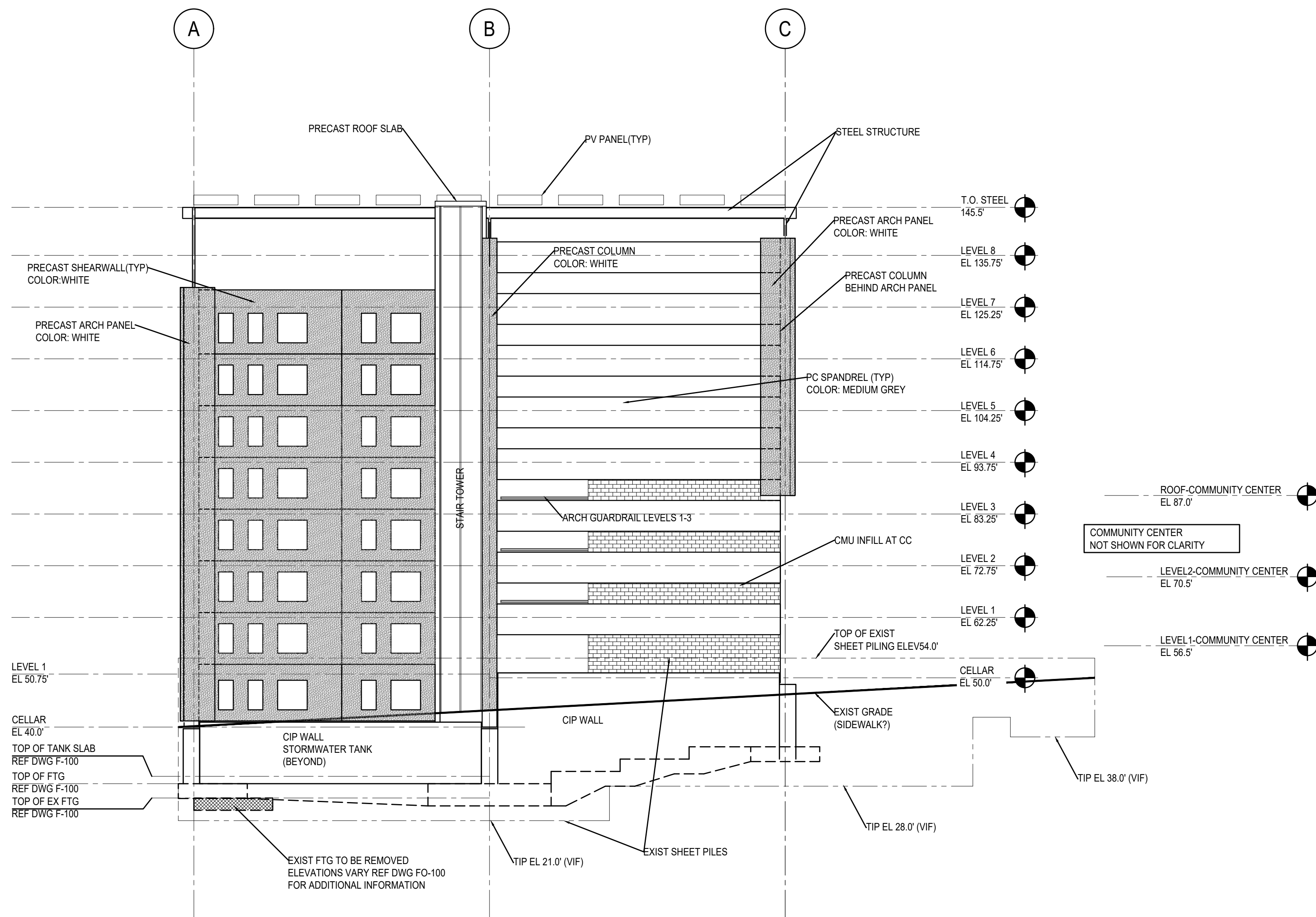
SCALE: 1/16"=1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:

**S-300**

DRAWING ORDER: 85 of 205



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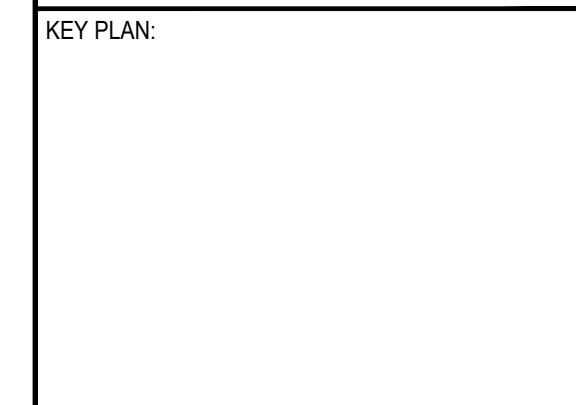
JFK&M ENGINEERS, LLP  
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REVISION	DESCRIPTION	DATE

PROJECT: **NYC BBJ  
QUEENS GARAGE &  
COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL  
DRAWINGS**

KEY PLAN:

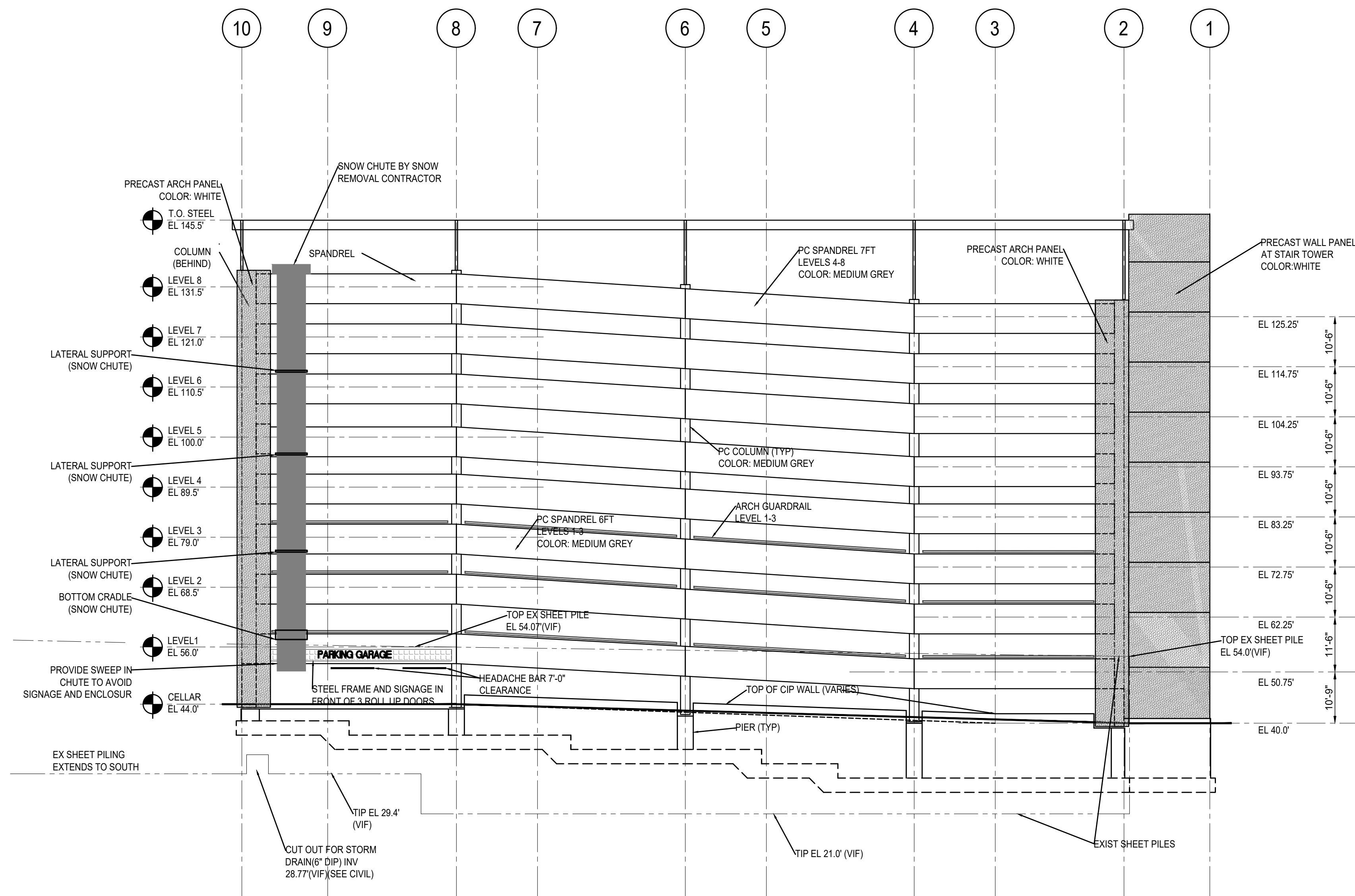


DRAWING TITLE:  
**GARAGE EAST  
ELEVATION**

SCALE: 1/16"=1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:  
**S-301**  
DRAWING ORDER: 86 of 205



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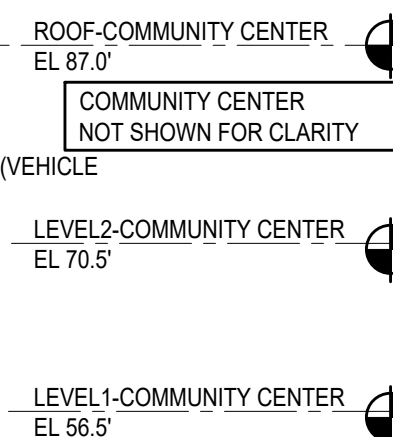
JFK&M ENGINEERS, LLP  
134 West 37th Street New York, NY 10018  
212.792.8700

REVISION	DESCRIPTION	DATE

PROJECT: NYC BBJ  
**QUEENS GARAGE & COMMUNITY SPACE**  
80-25 126th St,  
Kew Gardens, NY 11415

**TECHNICAL DRAWINGS**

KEY PLAN:



DRAWING TITLE:  
**GARAGE WEST ELEVATION**

SCALE: 1/16"=1'-0" DATE: SEPTEMBER 18, 2020

SEAL:

DRAWING NUMBER:

**S-302**

DRAWING ORDER:

87 of 205

